

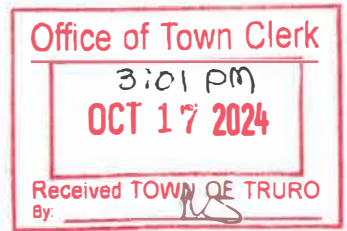


# Truro Planning Board Agenda

## Remote Zoom Meeting

Wednesday, October 23, 2024 – 5:00 pm

[www.truro-ma.gov](http://www.truro-ma.gov)



**Join the meeting from your computer, tablet or smartphone:**

**<https://us02web.zoom.us/j/84991834567>**

**Dial in: +1-646-931-3860**

**Meeting ID: 849 9183 4567**

**Passcode: 279230**

### **Open Meeting**

This will be a remote public meeting. Citizens can view the meeting on Channel 8 in Truro and on the web: Town of Truro website ([www.truro-ma.gov](http://www.truro-ma.gov)), "Helpful Links", "Truro TV Channel 8". Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/livestream.

Citizens can join the meeting to listen and provide public comment by entering the meeting link; clicking on the agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/livestream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide comment via postal mail or by emailing Liz Sturdy, Planning Department Assistant, at [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov), one week prior to the meeting; or may instead speak during the Public Comment portion of the hearing.

### **Public Comment Period**

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

#### **1. Planner Report**

#### **2. Chair Report**

#### **3. Minutes**

♦ August 7, 2024

### **Board Action/Review**

**2024-006/PB Preliminary Subdivision** – 32 Union Field Road (Atlas Map 47, Parcel 21), Susan Dyer Lambert and William R. Dyer.

### **Public Hearing – New**

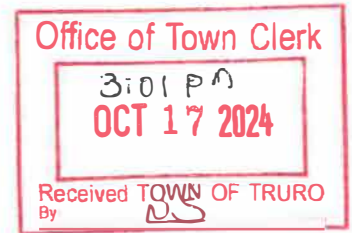
**2024-001/SPR A/C Mobile Home Park Inc. (Hortons)** – 67 South Highland Avenue and 10 Old Dewline Road (Atlas Map 37, Parcel 15, 19). Applicant seeks a Site Plan Review for construction of a Comfort Station on the upper area of Hortons Campground located in the Seashore District.

**Board Discussion/Action**

- ◆ Updates on work for next year
  - Lot Clearing
  - Lot Coverage
  - Climate Change
- ◆ Street Inventory List

**Next Meeting:** Wednesday, November 6, 2024 at 5:00 pm

**Adjourn**



## STAFF MEMORANDUM

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To: Truro Planning Board

From: Barbara Carboni, Town Planner and Land Use Counsel

Date: October 22, 2024

Re: Meeting October 23, 2024

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**2024-001/SPR A/C Mobile Home Park, Inc. (Hortons), 67 South Highland Avenue and 10 Old Dewline Road.** Applicant seeks Commercial Site Plan approval with respect to the replacement of a bathhouse on the property within the Seashore District

### Existing Conditions and Proposed Project

The campground property owned by A/C Mobile Home Park, Inc. (still known as Horton's) consists of 29.72 acres in the Seashore District. See Existing Conditions C-1. The campground is divided into two camping areas, the "Upper Horton's Campground", largely tent sites, and the "Lower Horton's Campground," the RV camping sites; a third area has been set aside as a conservation area.

The applicant proposes a new comfort station, containing bathrooms, showers, a dishwashing station, and laundry, in a central location accessible to both upper and lower campground areas. See Existing Conditions C2 and C3. Existing water and electrical lines serve the location. See Existing Conditions C2. This comfort station will replace a previous one, which has been demolished.

The new comfort station will be a one-story concrete masonry building with an asphalt shingled roof, which reads as one-and-a-half stories. See Cover Letter dated September 17, 2024 and permit plan set. The height of the roof peak does not appear to be indicated on the plans. Assuming the height is conforming, the structure creates no new dimensional nonconformities. A sewer line will be installed and tie into an existing sewer system and wastewater treatment facility. See Cover Letter and Proposed Site Plan C3. A post and rail fence, walkways, and landscaping "in accordance with Wilkinson Planting plan<sup>1</sup>" are proposed. See Site Plan C3.

### Bylaw Requirements

Commercial Site Plan Review is required for the project under Section 70.3 of the Zoning Bylaw, which provides in part:

"A. Commercial Site Plan Review is required for:

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<sup>1</sup> This refers to plans prepared by a landscape design consultant and agreed upon as part of a settlement arising from prior unpermitted activity on the upper level of the campground.

1. Any construction, alteration, expansion, or modification of any properties, structures, and uses other than that of single or two-family residences and their accessory uses and structures.”

Section 70.3.A (partial). As the Board is aware, Commercial Site Plan Review requires consideration of applicable Review Criteria and Design Guidelines contained in Section 70.3.F. (reproduced below). The Board may impose "reasonable conditions" on the project in granting Site Plan Approval; it may only deny Site Plan Approval if the project cannot be conditioned so as to conform to the Review Criteria and Design Standards, or if the project would be in violation of zoning. See Section 70.3.G. <sup>2</sup>

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70.3.F. Review Criteria/Design Guidelines The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw.
2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses.
3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro.
4. The proposal provides for the protection of significant or important natural, historic, or scenic features.
5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention.
6. The proposal adequately provides for refuse disposal.
7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use.

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<sup>2</sup> "Findings of the Planning Board The concurring vote of four members of the Planning Board shall approve a Commercial Site Plan in the form submitted or with reasonable conditions, unless it finds that (a) the application for site plan approval is incomplete, or (b) the imposition of reasonable conditions will not ensure that the project will conform to the standards and criteria described herein, or (c) the project does not comply with the requirements of the Zoning Bylaw."

Section 70.3.G



8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage Truro Zoning Bylaw – May 2024 Page 62 areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground.

13. The project shall not place excessive demands on Town services.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged. 15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site. 16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s).



# TOWN OF TRURO

## PLANNING BOARD

Meeting Minutes

August 7, 2024 – 5:00 pm

### REMOTE PLANNING BOARD MEETING

**Members Present (Quorum):** Rich Roberts (Chair); Anne Greenbaum (Vice Chair); Jack Riemer (Clerk) Ellery Althaus; Caitlin Townsend; Paul Kiernan; Virginia Frazier

**Members Absent:**

**Other Participants:** Town Planner/Land Use Counsel Barbara Carboni; Town Manager Darrin Tangeman; Select Board Member Nancy Medoff; Lisa Pinero (Truro Resident); Gail Wickstrom (Truro Resident)

Remote meeting convened at 5:00 pm, Wednesday, August 7, 2024, by Chair Roberts who announced that this was a remote public meeting aired live on Truro TV Channel 8 and was being recorded. Town Planner/Land Use Counsel Carboni provided information as to how the public may call into the meeting or provide written comment. Members introduced themselves to the public.

**Public Comment Period**

Public comment, for items not on the agenda, was opened by Chair Roberts and there were none.

**Planner Report**

Town Planner/Land Use Counsel Carboni reported the Cape Cod Commission will review Truro's Local Comprehensive Plan (LCP) at its meeting on August 22, 2024. It is a remote meeting and a link to view it is posted on the Town's website. Additionally, Sandwich's LCP will also be reviewed by the Cape Cod Commission at the same meeting.

At the request of Chair Roberts, Town Planner/Land Use Counsel Carboni also provided an overview and an update on the Ebb Tide project. Town Planner/Land Use Counsel Carboni noted that revised plans were submitted a month ago by the Applicant's attorney which had reduced gross floor area in two units.

A recent member of the Zoning Board of Appeals (ZBA), Nancy Medoff, recently was elected to the Select Board and no longer serves on the ZBA resulting in only 4 ZBA members available to hear the revised plans at a hearing. The ZBA offered the Applicant to withdraw and refile the new plans so that way the Applicant could present in front of a full complement of 5 ZBA members to hear the matter. As a Special Permit requires approval by 4 members, this is a procedure that is routinely offered to Applicants if there are not 5 members of the ZBA or Planning Board present to hear a matter.

In this matter, the ZBA allowed the Applicant to withdraw the application, and the Applicant will refile the new plans along with other materials in time for the ZBA's meeting in September.

Chair Roberts asked Town Planner/Land Use Counsel Carboni if the Applicant would have to reappear in front of the other regulatory boards (Board of Health and Conservation Commission) and Town Planner/Land Use Counsel Carboni replied that the Applicant would not have to reappear as there were no adjustments to the items under those boards' jurisdiction. Town Planner/Land Use Counsel Carboni added that if the ZBA approved the new application, Building Commissioner Rich Stevens, in consultation with Town Planner/Land Use Counsel Carboni, would determine if another Site Plan Review by the Planning Board were required.

### **Chair Report**

Chair Roberts noted that one of the Select Board's FY2025 Goals and Objectives is to improve communication among the Town's boards and so the Select Board will convene a roundtable discussion with the chairs of Truro's boards at a date to be determined in September. Chair Roberts will keep the Members updated on this topic when he has more information.

### **Minutes**

None

### **Forum – Temporary Sign Code (5:15 pm to 6:00 pm)**

Chair Roberts announced that Vice Chair Greenbaum would moderate the public forum on this matter and then recognized Member Riemer who announced that he had filed a Chapter 268A Section 23(b)(3) Disclosure of Appearance of Conflict of Interest with the Town Clerk. Chair Roberts thanked Member Riemer for his announcement.

Vice Chair Greenbaum announced the format for this evening's public forum which would be the same as other public forums held in Truro. The goal tonight was to hear what the public's feelings were on temporary signs and the role for the Members was to listen. This was not an opportunity to debate back and forth between individuals of the community, the Members of the Planning Board, and Town staff. Vice Chair Greenbaum thanked Member Riemer for his earlier announcement and noted that Member Riemer would still participate in tonight's public forum as he is a member this forum was an opportunity for all the Members to hear what was on the minds of Truro's residents.

Vice Chair Greenbaum then reviewed Sign Code Section 11 and asked for the public's input on the following questions:

- What do residents like about the temporary signs in Truro?
  - Ms. Pinero commented that it is a way to reach the residents of Truro as not everyone has internet access and that the signs are temporary.
  - Vice Chair Greenbaum commented that temporary signs may also direct residents to a road where they could purchase fresh or organic vegetables.
  - Chair Roberts noted that the temporary signs along Route 6 keep people abreast as to the happenings in Truro independent of the internet.
- What are the concerns about temporary signs?
  - Ms. Wickstrom commented on the amount of increased traffic that is drawn into residential areas, such as South Highland Road, as it results in safety concerns and impacts the quality of life. Ms. Wickstrom also noted that Payomet promotes events not

held in Truro (Provincetown and elsewhere) should not be allowed. Ms. Wickstrom also commented that people should walk down South Highland Road to fully understand the safety concerns.

- Should temporary signs be regulated in Truro? If so, should the Town expand the categories of temporary signs requiring a permit?
  - Ms. Pinero commented that temporary signs should be regulated and the signs should pertain to Truro only.
  - Ms. Wickstrom commented that the signs should be limited to 15-30 days and not 6 months.
  - Member Kiernan asked Ms. Wickstrom to provide additional information as to Payomet temporary signs promoting events not in Truro. Ms. Wickstrom replied that in the springtime, Payomet advertises for performance events in Provincetown, Dennis, and Harwich.
  - Ms. Wickstrom also commented that the placement of temporary signs should be in safe areas and not along Route 6 exit ramps.
  - Member Althaus noted that 3 of the Members resided on or off Highland Road and South Highland Road.

*Note: There were no responses from the members of the public regarding the question if the Town should expand the categories of signs requiring a permit.*

Town Planner/Land Use Counsel Carboni noted that business and economic development are especially important to the Town and deserve support that they provide to residents year-round.

The Members, Town Planner/Land Use Counsel Carboni, and Ms. Wickstrom further commented on the safety issues affecting South Highland Road; the Planning Board's previous approvals for Payomet's temporary sign applications; the assertion from Ms. Wickstrom that Town staff did not respond to her emails to acknowledge her concerns and Town Planner/Land Use Counsel Carboni's response that Town staff had repeatedly to Ms. Wickstrom's emails; and the need to return the discussion to what was advertised for tonight's public forum.

Vice Chair Greenbaum noted that temporary signs need to consider: traffic, safety, and quality of life which are all valid concerns. Vice Chair Greenbaum asked again if anyone else wanted to comment on this matter and there were none.

Vice Chair Greenbaum then returned the meeting back to Chair Roberts.

### **Board Discussion/ Action**

Chair Roberts led the discussion on the prioritization of work for next year and asked for any updates on progress.

1. Climate Change and Coastal Erosion
  - a. Health and Conservation Agent Emily Beebe attended and presented this topic at the Planning Board's previous meeting and it created a good starting point.
2. Lot Clearing
  - a. Member Frazier has reviewed the Bylaws of 11 of the 15 Cape Cod towns. Member Frazier noted that there are commonalities among several of the Towns.

- b. Member Frazier noted that the Cape Cod Commission's suggestion on Lot Clearing is much more specific than any of the bylaws among the Cape Cod communities.
  - c. Chair Roberts said he would like to assist Member Frazier and put a list of Bylaw comparisons to present to the Members for their comments at a later date.
- 3. Lot Coverage
  - a. Vice Chair Greenbaum reported that today she had emailed a copy of the Planning Board Draft Warrant Article from 2022 to include bullet comments on that effort.
  - b. Vice Chair Greenbaum noted that need for a clear purpose section outlining the reasons for this Bylaw along with the issues with the Select Board as to who determines what is and what is not permeable pavements (sand vs. stone).
  - c. The consideration of whether the Bylaw should be based upon lot size.
  - d. Chair Roberts agreed that this could be discussed further at the next meeting.
  - e. Member Riemer added that he had reviewed further the Local Comprehensive Plan (LCP) and to use it when reviewing the matter of Lot Coverage and encouraged other Members to do the same.
- 4. The Sign Code

*Note: As the public forum regarding the Sign Code occurred this evening there was no update.*
- 5. Communication Structures
  - a. Chair Roberts reported that he had completed the draft that is under review now and he will provide it to Members prior to the next meeting.
- 6. Stormwater Bylaw
  - a. Member Riemer reported that he was working with the Cape Cod Commission's model bylaw and recognized that there was overlap with the new Local Comprehensive Plan.
  - b. Member Riemer also noted that land use or disturbance of land use has an overall effect on the quality of life in Truro as well access to drinking water.
- 7. Street Inventory
  - a. Chair Roberts noted that he would like to receive more feedback from Principal Assessor Jon Nahas regarding the integration of the Street Inventory with the Assessor's maps.
  - b. Chair Roberts sent a memorandum to Principal Assessor Nahas requesting clarification on several items following their recently held meeting.
  - c. Member Kiernan had no other comments as long as the project was moving forward.
  - d. Chair Roberts will follow-up with Principal Assessor Nahas and provide any updates at the next meeting.

Chair Roberts asked the Members if there were any further work item discussions and there were none.

Chair Roberts announced that the next meeting would be held on Wednesday, August 21, 2024, at 5:00 pm.

Chair Roberts recognized Member Kiernan who asked that a review of what was learned tonight during the public forum on the Sign Code be added to the agenda of an upcoming meeting. There were no objections and Vice Chair Greenbaum said that she will type up her notes from the public forum and distribute them to the Members. Vice Chair Greenbaum and Chair Roberts agreed with Member Kiernan that this topic, as it may be broader than just temporary signs, will be added to a future meeting agenda.

Chair Roberts recognized Member Riemer who said that he had forwarded Chair Roberts a copy of a letter, dated May 14, 2024, from the legal representative of the ACLU that Member Riemer had received which outlined legal precedence regarding signs to include political signs. Member Riemer noted that

the Members would benefit from reading the letter as he had been asked to share the letter with the Select Board, the Planning Board, and Town Counsel. Chair Roberts noted that the letter will be shared with the Members at another time as it encroaches upon other issues not associated with tonight's agenda.

Town Planner/Land Use Counsel Carboni commented that the letter that Member Riemer had mentioned pertains to regulations of signs on private property and that is not what the Planning Board discussed tonight. Chair Roberts replied that as the Members reviewed the Sign Code that the Planning Board may want to look at the provisions of Section 11 more broadly and that may include clarification of what is acceptable, or not, for the placement of signs on private property or otherwise.

**Member Frazier made a motion to adjourn the meeting at 5:51 pm.**

**Vice Chair Greenbaum seconded the motion.**

**Roll Call Vote:**

**Vice Chair Greenbaum – Aye**

**Member Townsend – Aye**

**Member Althaus - Aye**

**Member Frazier – Aye**

**Member Riemer - Aye**

**Member Kiernan - Aye**

**Chair Roberts - Aye**

**So voted, 7-0-0, motion carries.**

Respectfully submitted,

A handwritten signature in dark ink, appearing to read "Alexander O. Powers". The signature is fluid and cursive, with a large initial "A" and a long, sweeping underline.

Alexander O. Powers

Board/Committee/Commission Support Staff

# ***EAST-SOUTHEAST, LLC***

*J. Thaddeus Eldredge, P.L.S.  
Surveying, Geomatics Engineering and Mapping  
1038 Main Street ° Chatham, Massachusetts 02633  
41°41'14.73425" N 69°58'24.87695" W -10.019 M*

October 23, 2024

## **Town of Truro Planning Board**

Truro Town Hall  
24 Town Hall Road  
P.O. Box 2030  
Truro, MA 02666

Re: **PRELIMINARY Subdivision Plan**  
Ann D. Dyer Revocable Trust  
**32 Union Field Road**  
**Assessors' ID 47-21**

Dear Board Members:

On behalf of my clients, Susan Dyer Lambert and William R. Dyer, I request that the public hearing for the Preliminary Subdivision review for the referenced property scheduled for **October 23, 2024** be continued to your regular meeting to be held on **November 20, 2024**.

Thank you for your attention to and consideration of this request.

Respectfully,

***EAST-SOUTHEAST, LLC***

  
J. Thaddeus Eldredge, PLS



## TOWN OF TRURO

### Planning Department

24 Town Hall Road, P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004, Ext. 127 Fax: (508) 349-5505

#### EXTENSION AGREEMENT

#### FOR CASE NO. 2024-006/PB Preliminary Subdivision Plan

I, J. Thaddeus Eldredge, East-SouthEast, LLC, as authorized agent of Ann D. Dyer Revocable Trust, with respect to property located at 32 Union Field Road, agree to an extension of time through November 20, 2024 <sup>for</sup> action by the Planning Board on the above Application filed with the Town Clerk pursuant to G.L. c. 41, s. 81L.

  
\_\_\_\_\_  
Signature of Applicant/Agent

October 23, 2024

Date

Filed with the Planning Department:

Elizabeth Sturdy 10/23/24  
Name Date

Filed with the Town Clerk:

Elizabeth Sturdy 10/23/24  
Name Date





MASSWILDLIFE

## DIVISION OF FISHERIES & WILDLIFE

1 Rabbit Hill Road, Westborough, MA 01581  
p: (508) 389-6300 | f: (508) 389-7890  
**MASS.GOV/MASSWILDLIFE**

October 17, 2024

Susan and William Dyer Lambert and Dyer  
Ann D. Dyer Revocable Trust  
425 Susan Constant Drive  
Virginia Beach, Virginia 23451

RE: Project Location: 32 Union Field Road, Truro  
Project Description: Two Lot Subdivision

**NHESP File No.: 24-18879**

**Heritage Hub Form ID: RC-88518**

Dear Applicant:

Thank you for submitting the MESA Project Review Checklist, site plans titled "Preliminary Plan" (dated 7-24-2024, one sheet, prepared by East-SouthEast, LLC) and other required materials to the Natural Heritage and Endangered Species Program of the MA Division of Fisheries & Wildlife (the "Division") for review pursuant to the Massachusetts Endangered Species Act (MESA) (MGL c.131A) and its implementing regulations (321 CMR 10.00). The proposed project is a two-lot subdivision with alterations amounting to 2 acres or less. The proposed two-lot subdivision includes the construction of two single family homes, associated utilities and septic systems, proposed road and restrictive easements totaling 39,594 S.F.

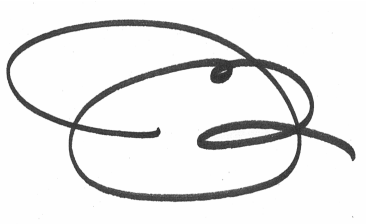
Based on a review of the information that was provided and the information that is currently contained in our database, the Division has determined that this project, as currently proposed, **will not result in a prohibited Take** of state-listed rare species. This determination is a final decision of the Division of Fisheries & Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the MESA. This project may be subject to further review if no physical work is commenced within five years from the date of issuance of this determination, or if there is a change to the project. If the Division determines, based on the considerations provided for in 321 CMR 10.16, that a future project or activity proposed on the Property is part of a larger common project or scheme, it may evaluate the cumulative impacts of the existing and proposed segments of the common project when reviewing the future proposed project or activity pursuant to MESA.

Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions regarding this letter please contact Emily Holt, Endangered Species Review Assistant, at [Emily.Holt@mass.gov](mailto:Emily.Holt@mass.gov), (508) 389-6385.

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MASSWILDLIFE

Sincerely,

A handwritten signature in black ink, consisting of several loops and a final flourish.

Jesse Leddick  
Assistant Director

cc:

**From:** [harriet@hjhlaw.com](mailto:harriet@hjhlaw.com)  
**To:** [Elizabeth Sturdy](#)  
**Cc:** [Barbara Carboni](#)  
**Subject:** Letter to Planning Board attached - for tonight's meeting - 32 Union Field Road Preliminary Subdivision  
**Date:** Wednesday, October 23, 2024 9:59:38 AM  
**Attachments:** [OpinionLettertoPlanningBoard.pdf](#)

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Liz - Attached please find my letter addressed to Richard Roberts, Chair. Please provide to members of the Board to review in connection with tonight's meeting. Thank you.

Best regards, Harriet

Cc: Clients and T. Eldridge via separate email

Harriet J. Hobbs  
*Attorney at Law*  
54 Ryder Beach Road  
Post Office Box 2021  
Truro, Massachusetts 02666-2021  
[harriet@hjhlaw.com](mailto:harriet@hjhlaw.com)  
508.487.4000 office/mobile  
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Harriet J. Hobbs

Attorney at Law

Office/Mobile: 508.487.4000

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Fax: 508.487.6000

October 21, 2024

Richard Roberts, Chair  
Truro Planning Board  
Truro Town Hall  
24 Town Hall Road  
Truro, MA 02666

*Via email to Elizabeth Sturdy Planning Department Assistant*

RE: Truro Planning Board Agenda Item for Meeting October 23, 2024  
2024-006/Preliminary Subdivision – 32 Union Field Road (Atlas Map 47 Parcel 21)  
Susan Dyer Lambert & William R. Dyer  
Successor Co-Trustees of Ann D. Dyer Revocable Trust

Dear Mr. Roberts:

I have been retained by the above-referenced Susan Dyer Lambert and William R. Dyer to issue an Opinion Letter in response to Benjamin Sigel's recent email correspondence to the Planning Board.

Mr. Sigel has requested the Planning Board reject my client's preliminary subdivision plan. He apparently objects to the plan on the theory my clients are "*creating the proposed road in the preliminary subdivision plan that goes on to the Sigel property or its Private Way.*". He also has referred to my clients "...illegally taking land from the Sigel property".

To the contrary, it is my opinion my clients, Susan Dyer Lambert and William R. Dyer, have a clear deeded right of way easement to use the existing "Private Way 40' Wide" located within the eastern boundary of the Sigel property known and numbered as 4 Union Field End and shown as Lot 3 on the plan recorded with the Barnstable County Registry of Deeds in Plan Book 248 Page 39, entitled, "Subdivision Plan of Land in Truro owned by Nathaniel B. Dyer, Scale 1" = 50', July 1971, Francis J. Alves, C.E., Provincetown, Mass", (hereinafter referred to as the "Sigel Lot"). My clients also have a clear deeded right to use the entire length of Union Field Road to access Route 6.

—//—

The Sigels first acquired title to the Sigel Lot by Deed from Nathaniel B. Dyer to Stanley M. Sigel dated September 20, 1972 recorded with the Barnstable County Registry of Deeds in Book 1745 Page 332. This deed conveyed the Sigel Lot shown on Plan 248 Page 39 “ ***..Together with a right of way 40 feet wide for all purposes for which rights of way are commonly used and shown on the aforementioned plan. Also together with a right of way over a private road shown as Union Field Road for all purposes for which rights of way are commonly used in the Town of Truro to and from the State Highway known as Route 6***”.

The second deed by which the Sigels acquired title is the Confirmatory Deed dated June 29, 1974 and recorded with the Barnstable County Registry of Deeds in Book 2064 Page 274 from Nathaniel B. Dyer and Stanley M. Sigel to Stanley M. Sigel & Ruth Miriam Sigel. This Deed slightly changed the right of way language to: “ ***Together with and SUBJECT TO a right of way 40 feet wide for all purposes for which rights of way are commonly used and shown on the aforementioned plan.***” The grant of the right of way over Union Field Road was unchanged in the Confirmatory Deed.

In both the first Deed to the Sigels and the Confirmatory Deed, Nathaniel B. Dyer did reserve utility rights in the private ways, including the rights to grant further easements to public service corporations et al, but Benjamin Sigel is confused if he thinks reserving utility rights meant Mr. Dyer was not reserving rights to use the private way ***for all purposes for which rights of way are commonly used, i.e. ingress and egress.*** No, because of the enactment of MGL Chapter 187 Section 5, there is now “*an implied right by implication to place, install or construct in, on along, under and upon said private way or other private ways pipes, conduits, manholes and other appurtenances necessary for the transmission of gas, electricity, telephone, water and sewer service, provided such facilities do not unreasonably obstruct said private way or other private ways, and provided that such use of the private way or other private ways does not interfere with or be inconsistent with the existing use by others of such way or other private ways...*”; Prior to the statute being enacted, if one wanted to reserve the right to install utilities in a private way, specific language in the deed had to reserve those rights, now it is an implied right. Bottom line, it is illogical and incorrect to state that Nathaniel Dyer “never meant to have ingress and egress rights over the right of way 40 feet wide”, because of his *additional* reservation of rights to install utilities within the private way.

All subsequent deeds in the Sigel Lot chain of title contain the same paragraphs describing the two right of ways and the reservation of rights to install utilities. I do find it curious the acreage for Sigel Lot stated in the first deed of 0.55 acres, was changed to 1.2 acres in the Confirmatory Deed. Subsequent deeds in the chain of title refer to the Sigel Lot as containing 1.2 acres (Book 8415 Page 300), then back to .55 acres (Book 10991 Page 101), then .92 acres (Book 19429 Page 213).

Nevertheless, I note the current Assessors Map appears to not include the 40 Ft Right of Way within the boundaries of the Sigel Lot and is assessing the Lot as 0.550 acres. Interesting the Sigel Lot owners are trying to deny the granted rights of the Dyers to use the 40 Ft Right of Way within their Lot, and yet are presumably pleased to be assessed on .55 acres, which excludes the land on which the 40 Ft Right of Way is located.

In any event, when Nathaniel B. Dyer conveyed the Dyer Lot to Nathaniel B. Dyer, Jr. and Ann Dyer, by deed dated July 27, 1973 and recorded in Book 1924 Page 168, (32 Union Field Road, Lot #4 on the above-referenced plan, hereinafter referred to as the “Dyer Lot”), he used the same language as in his Deed to the Sigel Lot, i.e. “.... ***together with a right of way 40 feet wide for all purposes for which rights of way are commonly used and shown on the aforementioned plan. Also together with a right of way over a private road shown as Union Field Road for all purposes for which rights of way are commonly used in the Town of Truro to and from the State Highway known as Route 6***”. The subsequent and current deed for the Dyer Lot conveying the Lot into Ann D. Dyer, as Trustee of the Ann D. Dyer Revocable Trust also contains the same right of way grants (see Book 20865 Page 248). The same reservation of rights to install utilities within the private ways are also contained in the Deeds to the Dyer Lot. Again, it’s illogical and incorrect to state that Nathaniel Dyer “never meant to have ingress and egress rights over the right of way 40 feet wide”, because of his *additional* reservation of rights to install utilities within the private way.

As for Mr. Sigel stating the “Dyers are confusing a “private way” on the Sigel property for a “private right of way” .. and that a “private way is exactly that, a private road owned by my parents”, I think the only person confused about the meaning of a private way is Mr. Sigel. A private way is simply a right of way that is not public, subject to the rights of others who have been granted rights to use that way. A hundred abutters to a private way could have granted rights to use a private way. Hence the language in the Sigel deeds... “ ...***Together with and subject to a right of way ...***” Nathaniel B. Dyer clearly made his conveyance to the Sigels subject to the right of ways as shown on the plan, and every subsequent deed in the chain of title to the Sigel Lot utilizes that same language.

As for the grants of the right of way, they qualify as **appurtenant** easements , which requires two distinct parcels of land owned by two different owners and when granted, the same person must own title to both the easement and the dominant estate. In this case, Nathaniel B. Dyer was owner of both Lot #3 (the land to which the easement is attached) and the dominant estate to which the right belongs (Lot#4) when he sold Lot #3 to the Sigels. An appurtenant easement does “run with the land” and subsequent owners have the benefit of an appurtenant easements, even when such an easement is not mentioned in subsequent deeds.

Richard Roberts, Chair  
Correspondence of October 21, 2024  
Page 4

Finally, I note it appears the current record title owner of the Sigel Lot is Stanley M. Sigel and Ruth M. Sigel, Trustees of the S & R 2004 Realty Trust by Deed of Stanley M. Sigel and Ruth Miriam Sigel recorded with the Barnstable County Registry of Deeds in Book 19429 Page 213. The beneficiaries of that Trust are not part of the public record, so I can only assume Benjamin Sigel has some standing as the son of the Trustees to object to my clients preliminary plan, but I have seen nothing to confirm that, nor any documentation that he has the authority to act on behalf of the beneficiaries of the Trust to object to the plan as an abutter.

I trust the Planning Board will look favorably upon the Preliminary Subdivision Plan of my Clients. If I can answer any questions in the meantime, please don't hesitate to contact my office.

Very truly yours,



Harriet J. Hobbs

enc

HJH:h

Cc: Susan Dyer Lambert & William R. Dyer  
J. Thaddeus Eldridge

## Elizabeth Sturdy

---

**From:** Benjamin Sigel <benrsigel@gmail.com>  
**Sent:** Tuesday, October 15, 2024 7:24 PM  
**To:** Elizabeth Sturdy  
**Cc:** Barbara Carboni  
**Subject:** Re: 32 Union Field End

Liz,

This email is in response to Mr. Eldredge's October 2nd email referencing M.G.L. ch. 187 sec. 5, Nantucket Conservation Foundation vs. Russell Management, 380 Mass. 212, and Nathaniel Dyer's intention regarding the Sigel property Private Way.

Any reference to M.G.L. ch. 187 sec. 5 and 380 Mass. 212 in regard to 32 Union Field Road or any rights the Dyers believe they have to illegally taking land from the Sigel property is inapplicable and irrelevant. If anything, M.G.L. ch. 187 sec. 5 and 380 Mass. 212 further demonstrate that the Dyers have NO rights of ingress or egress to/from the Sigel property or its Private Way. M.G.L. ch. 187 sec. 5 states "the owner or owners of real estate abutting on a private way **who have by deed existing rights of ingress and egress** upon such way or other private ways shall have the right by implication to place, install or construct in, on, along, under and upon said private way or other private ways pipes, conduits, manholes and other appurtenances necessary for the transmission of gas, electricity, telephone, water and sewer service." Similarly, in 380 Mass. 212, Russell Management's deed specifically gave it an "easement across the way for ingress and egress only."

That is **not** the case here with 32 Union Field Road. The 1974 Deed from Nathaniel Dyer to my parents (Book 2064, page 274) ("1974 Deed"), provided an easement to the private way on the Sigel property for ONLY Nathaniel Dyer and ONLY to install and maintain public utilities. Unlike M.G.L. ch.187 sec. 5 and the facts in 380 Mass 212, there is NO explicit or implicit easement or reservation of rights for a road, access way, ingress or egress on the Sigel property from/to 32 Union Field Road in the 1974 Deed. It is clear based on the 1974 Deed that Nathaniel's Dyer intention was to specifically only reserve an easement for himself for public utilities and NOT egress or ingress. This was not a mistake. He was very specific in his language on what easement rights he was reserving – and he only reserved easement rights for public utilities and not ingress or egress. To say otherwise or imply otherwise is not correct or fact based. If Nathaniel Dyer wanted to have ingress or egress rights to the Sigel property and its Private Way, he would have specifically stated so in the 1974 Deed, as he did for the public utilities. He didn't.

It is clear the intention of Nathaniel Dyer and Stanley and Ruth Sigel was to create a private way on the Sigel Property for the **sole** purpose to allow **only** Nathaniel Dyer to reserve his rights for an easement **only** for public utilities. The length of the Private Way is irrelevant and moot. Without a deed granting rights of ingress and egress, any argument about retrospection is also moot and inapplicable.

It is not for us to demonstrate how Nathaniel Dyer intended to have access to Lot 4. But, what we clearly can demonstrate is that Nathaniel Dyer never meant to have ingress or egress access rights to/from the Sigel property and its Private Way. Unlike in M.G.L. ch.187 sec. 5 and 380 Mass. 212, he never expressed those rights in his 1974 Deed to the Sigels, when he had every opportunity to do so. Further, and as initially stated in my September 26th email, Nathaniel's right to public utilities on the Private Way of the Sigel property was strictly personal to him and does NOT run with the land. Those rights to a public utility easement on the Sigel property did not extend to Susan Dyer Lambert and William Dyer. If they did,



Nathaniel Dyer once again would have expressly noted that in the 1974 Deed, but he intentionally did not do so.

Accordingly, the Dyers do not have the right or authority to create the proposed road in the preliminary subdivision plan that goes on to the Sigel property or its Private Way. As such, we kindly request that the Planning Board reject the current preliminary subdivision plan as proposed by the Dyers.

Truly Yours,

Ben

**Benjamin Sigel (he/him/his)**

[benrsigel@gmail.com](mailto:benrsigel@gmail.com)

cell: (617) 935-6567

Twitter: @BenSigel | Instagram: @BenSigel

LinkedIn: [/bensigel](#)

# **SITE PLAN REVIEW**



**OAKHILL**  
**ENGINEERING**

**Project Location:**

**67 So Highland Ave & 10 Old Dewline Road  
Truro, MA  
Map: 037  
Lot: 15 & 19**

**Prepared for:**

A/C Mobile Home Park Inc.  
905 16<sup>th</sup> Place  
Vero Beach, FL 32960

**Prepared By:**

Oakhill Engineering LLC  
75 Oak Hill Ave  
Seekonk, MA 02771

368 Fairview Ave  
Rehoboth, MA 02769

**Representative:**

Mark Mariano, PE, CPO  
401-574-0871

**September 2024**



## **Table of Contents:**

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2.0 – Application Form

3.0 – Check List

4.0 – Criteria Review

5.0 – Certified List of Abutters

6.0 – Town Fee

# 1.0 – Cover Letter

## Oakhill Engineering LLC + Dyer Surveying

### Seekonk:

75 Oak Hill Ave; 2<sup>nd</sup> FL  
Seekonk, MA 02771  
(401)-574-0871  
508-252-4363

### Rehoboth:

368 Fairview Ave  
Rehoboth, MA 02769  
(508)-252-4363



Civil Engineers | Surveyors | Aquatic Engineers

**September 17, 2024**

### **Site Plan Review: Hortons Campground**

**67 So Highland Ave & 10 Old Dewline Road  
Truro, MA**

Please find the attached package for the site plan review for the proposed comfort station found at Horton's Campground in Truro, MA. Please see the below dialog to better assist in your review and provide additional information that is required in the review:

### **Overview:**

The upper area of Horton's Campground contains a variety of tent sites. The previous comfort station was out of date, non-compliant, and was determined to have exceeded its service life. The station as been raised.

The comfort station is an essential part of the primitive camping experience as it provides a designated area for patron relief and hygiene. The comfort station will contain bathrooms, lavatories, showers, dish washing station, and laundry.

The location of the comfort station is found to be central in the park to where it can provide easily accessible areas from the tent sites.

The comfort station will always be open to the patrons and will only be exclusively used by patrons of the park. The building will be serviced by a private DEP permitted water source, and wastewater will be collected and delivered into the park's sewer system has a DEP approved treatment plant.

The building will be a single level concrete masonry building and asphalt shingled roofing. The building construction and finishes are primarily selected for easily cleanable and durable surfaces.

The outside surroundings of the building will be ADA accessible concrete walkways, a minimum of 5 ft wide, with slopes less than 1:20.

The ground will be finished with the same surrounding vegetation that surrounds the park, including scrubby pines, and low covering bushes. A native seed mix shall be applied on the rest of the ground cover, but the intent is to not have lawn.

The storm runoff from the roof, will be collected with roof leaders and deposited into a subsurface infiltration system. The infiltration system will receive the same ground cover as the rest of the site.

Lighting will be minimum and only be directed at the ground surface. No up-lighting shall be used.

## Oakhill Engineering LLC + Dyer Surveying

### Seekonk:

75 Oak Hill Ave; 2<sup>nd</sup> FL  
Seekonk, MA 02771  
(401)-574-0871  
508-252-4363

### Rehoboth:

368 Fairview Ave  
Rehoboth, MA 02769  
(508)-252-4363



Civil Engineers | Surveyors | Aquatic Engineers

The location of the building is 250+ FT from the closest property line, making it difficult to see if from the street or outside the park. Only viewpoints would be from the patrons in the park. There are no scenic views the building would interrupt.

### Schedule and Cost:

With approval, the goal is to start working on the project immediately. The intent is to have the project completed by May 2025, in time for patrons in the summer of the 2025 season.

If you have any questions, please feel free to contact me by email at [Mark@oakhilleng.com](mailto:Mark@oakhilleng.com)

Sincerely,

Mark Mariano, PE CPO  
Principal

## 2.0 – Application Form



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 09/23/2024

The undersigned hereby files an application with the Truro Planning Board for the following:

- ☒ **Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- ☐ **Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw  
(Note: *Site Plan Review shall not be waived in the Seashore District*)

### 1. General Information

Description of Property and Proposed Project Construction of a Comfort Station on the upper area of Horton Campground. This property is a seasonal campground allow campers, camper trailers, and tents for recreational use.

Property Address 67 So Highland Ave & 10 Old Dewline Road Map(s) and Parcel(s) 37 / 15 & 19

Registry of Deeds title reference: Book 26095, Page 003, or Certificate of Title Number \_\_\_\_\_ and Land Ct. Lot # \_\_\_\_\_ and Plan # \_\_\_\_\_

Applicant's Name A/C Mobile Home Park Inc.

Applicant's Legal Mailing Address 905 16th Place, Vero Beach, FL 32960

Applicant's Phone(s), Fax and Email h.wayne@abcamping.com / 772-584-3628

Applicant is one of the following: (please check appropriate box)

\*Written Permission of the owner is required for submittal of this application.

☒ Owner ☐ Prospective Buyer\* ☐ Other\*

Owner's Name and Address H Wayne Klekamp, 905 16th Place, Vero Beach, FL 32960

Representative's Name and Address Mark Mariano, PE, - Oakhill Engineering, 75 Oak Hill Ave, Seekonk, MA 02771

Representative's Phone(s), Fax and Email 401-574-0871, Mark@oakhilleng.com

**2. Waiver(s) Request** – The Planning Board may, upon the request of the applicant, pursuant to §70.3.E, waive requirements of §70.3.D, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

### Signature(s)

Mark Mariano

Applicant(s)/Representative Printed Name(s)

Applicant(s)/Representative Signature(s)

H. Wayne Klekamp II, VP

Owner(s) Printed Name(s) or written permission

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.



## 3.0 – Check List



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## PROCEDURE FOR SUBMITTING APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

A completed application consisting of each of the requirements of §70 will be filed as follows:

- ten (10) packets to be filed with the Town Clerk; AND
- a complete copy, including all plans and attachments, submitted electronically to the Planning Department Assistant at [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov).

Additional material, *electronic and paper*, for a hearing shall be received no later than **Tuesday 4:00 pm** of the **prior** week.

The following information and requirements must be filed with all applications for Commercial Site Plan Review consistent with the Rules, Regulations and Fee Schedule of the Truro Planning Board.

☒ **1 – Official Application Form – Original and Nine (9) Copies**

Every application for action by the Board shall be made on an official form. Any communications purporting to be an application shall be treated as mere notice of intention until such time as it is made on an official application form accompanied by all requisite supporting data.

☒ **2 – Required Plan(s) and Other Information including Checklist (Ten (10) Copies)**

Every application and petition to the Board shall be accompanied by all the plans and other information required in the Zoning Bylaw. The application shall include each of the requirements of §70 as listed in the attached Checklist which is to be submitted as part of the official application.

☒ **3 – Criteria Review**

Applicant will briefly state how they meet each of the review criteria in §70 using the format provided in this packet.

☒ **4 – Certified Abutters List – Original and Nine (9) Copies**

A Certified Abutters List shall be obtained by the Applicant from the Truro Assessors Office and filed as part of the complete application. A copy of the “Certified Abutters List Request Form” is included in this packet.

☒ **5 – Filing Fee**

All applications shall be filed with the Town Clerk and shall be accompanied by a check payable to the Town of Truro in the amount of **\$250.00** for Site Plan Review and **\$125.00** for Waiver of Site Plan Review. The filing fee is non-refundable.

**Note:** *Please familiarize yourself with Truro Zoning Bylaws including bylaws specifically addressing property in your Truro Zoning District. It may also be helpful to review other potentially applicable Town regulations such as Board of Health and Conservation Commission regulations and regulations of other jurisdictions as applicable such as The Cape Cod National Seashore or a homeowner's association.*

### **ONCE A COMPLETED APPLICATION HAS BEEN RECEIVED**

- Planning Department will determine if an application is complete. Upon determination an Application is complete, the Planning Department Assistant will notify the applicant of the next Planning Board meeting date and will proceed to post notice of a public hearing in accordance with Section 11 of Chapter 40A of the General Laws of Massachusetts.
- Either you or your agent/representative shall appear before the Board at the scheduled hearing. If you need to reschedule, you must submit a request in writing for a continuance, using Town of Truro Continuance Request Form.
- Additional material, *electronic and paper*, for a hearing shall be received no later than **Tuesday 4:00 pm** of the **prior** week. Late submittals will not be reviewed at that meeting and may result in a continuance of the hearing. Additional information for a scheduled public hearing may be submitted provided it is received within the timeframe above so that it can be included in the packet for Board Members to read and review. Submit ten (10) paper copies, including full-size plans, to the Town Clerk for filing **AND** an electronic copy to the Planning Department Assistant at [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov).

**Please do not include a copy of these instructions with the application**

## 70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024

No.	Requirement	Included	Not Included	Explanation, if needed
<b>D. Procedures and Plan Requirements</b>				
1a.	An original and 9 copies of the Application for Site Plan Review	✓		
1b.	10 copies of the required plans and other required information including this Checklist	✓		
1c.	Completed Criteria Review	✓		
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	✓		
1e.	3 copies of drainage calculations stamped by a Professional Engineer	✓		
1f.	Applicable filing fee	✓		
1g.	Any other information that may be applicable or required by the Planning Board	✓		<b>bldg plans provided</b>
	<b>Site Plans</b>			
2a.	Site Plans shall be prepared, signed and stamped by a Registered Land Surveyor and Professional Engineer	✓		
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	✓		
3a.	General - Submitted plans shall contain the following:  North Arrow/Location Map: A north arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	✓		
3a. 1				
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed. This information shall be placed in a table format which must list all parking, setbacks; percent of lot coverage, broken down by parking, walkways, building(s), etc.; number of dwelling units; total amount of square feet; size of signs, and any other applicable zoning information necessary for the proper review of the site plan.	✓		
	<u>Existing:</u>			
	All parking	✓		<b>campground parking is at</b>
	All setbacks			<b>each campsite space</b>
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	✓		
	Number of dwelling units		✓	<b>camp site</b>
	Total amount of square feet	✓		

### 70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024

No.	Requirement	Included	Not Included	Explanation, if needed
	Size of signs		✓	No signage proposed
	Any other applicable zoning information necessary for the proper review of the site plan	✓		
	<u>Proposed:</u>			
	All parking		✓	N/A for this project
	All setbacks	✓		
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	✓		
	Number of dwelling units	✓	✓	N/A for this project
	Total amount of square feet	✓	✓	N/A for this project
	Size of signs		✓	N/A for this project
	Any other applicable zoning information necessary for the proper review of the site plan			
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	✓		
3a. 4	Graphic Scale	✓		
3a. 5	Title Block - Including:			
	Name and description of the project	✓		
	Address of the property	✓		
	Names of the record owner(s) and the applicant(s)	✓		
	Date of the preparation of the plan(s) and subsequent revision dates	✓		
3a. 6	Legend of all symbols	✓		
3b.	Existing Conditions Plan - showing the following:			
3b. 1	Total area and dimensions of the lot shown on a surveyed plan conforming to the requirements of the Barnstable County Registry of Deeds.	✓		
3b. 2	Location of existing buildings (including the number of stories, overall height in feet, and gross floor area in square feet of all existing buildings), parking, drives, walks, lighting service areas, all utilities, drainage facilities, easements, and other appurtenances, including setbacks from property lines.	✓		
	Location of existing buildings		✓	all features providing
	Number of stories		✓	in the 6+ acres in

N/A — upper camping area

### 70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: <u>67 So Highland Ave &amp; 10 Old Dewline Rd</u> Applicant Name: <u>A/C Mobile Home Park Inc.</u> Date: <u>09/17/2024</u> .				
No.	Requirement	Included	Not Included	Explanation, if needed
	Overall height in feet	✓		
	Gross floor area in square feet	✓		
	Parking		✓	
	Drives		✓	
	Walks	✓		
	Lighting service areas		✓	
	All utilities	✓		
	Draining facilities	✓		
	Easements		✓	
	Other appurtenances			
	Setback from property lines	✓		
3b. 3	Existing contours based on two foot (2) contour intervals.	✓		
3b. 4	General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH), all resource areas as defined in M.G.L. Chapter 131, Section 40, landscaping and other significant natural features.	✓		
3b. 5	Respective floor areas and/or square footage of existing uses of buildings and/or the property.	✓		
3b. 6	Existing location(s) of any freestanding sign(s).	✓		
3b. 7	National Flood Insurance Program flood hazard elevation.	✓		
3b. 8	Massachusetts Natural Heritage Endangered Species Act jurisdiction.	✓		
3c.	Proposed Conditions Plan - showing the following:			
3c. 1	Building Location: Identification of all building(s) to be located on the site. The number of stories, overall height in feet and gross floor area in square feet of all buildings shall be indicated.	✓		
3c. 2	Building Elevation: A drawing(s) of the exterior of all building(s), as viewed from all sides, including dimensions, at a scale of no smaller than 1/8" = 1'-0". This drawing must be at least 8" x 11" in size.	✓		

### 70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : <u>67 So Highland Ave &amp; 10 Old Dewline Rd</u> Applicant Name : <u>A/C Mobile Home Park Inc.</u> Date : <u>09/17/2024</u> .				
No.	Requirement	Included	Not Included	Explanation, if needed
3c. 3	Location of Parking/Walkways: Identification of the location of all parking and walkways, including curb cuts that will be used for site access from adjacent roadways or access points. Parking shall be consistent with the requirements outlined in §30.9.	✓		
3c. 4	Easements/Legal Conditions: Identification of legal encumbrances(s), including easements, that are related to the site's physical development, and a listing of any condition(s) placed upon the site by the Zoning Board of Appeals, Planning Board, Conservation Commission, Board of Health or any other public body or agency with the authority to place conditions on the site's development.		✓	N/A in this project area
3c. 5	Stormwater Drainage: All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.	✓		
3c. 6	Grades: Topography and a grading plan of the site.	✓		
3c. 7	Location of Walls: Identification of the location, height, length, and materials to be used for all retaining walls to be located on the site.	✓		
3c. 8	Signs: Identification of the location, height and materials to be used for all signs to be located on the site. Signs will be reviewed using the Town of Truro Sign Code section of the zoning bylaw.		✓	N/A no large signs
3c. 9	Location of Streets/Drives: Identification of all streets and driveways including the type and dimensions of curbs and gutters. Distances to all the nearest streets and/or curb cuts shall be shown for both sides of any street which is adjacent to the site.	✓		
3c. 10	Outdoor Storage/Display Areas: Identification of the location and type of outdoor storage and display areas on the site.		✓	
3c. 11	Refuse Areas: Identification of the location of each outdoor refuse storage area, including the method of storage and screening. All refuse areas must be fully enclosed.		✓	N/A waste to be located to permitted dumpster on site

### 70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024.

No.	Requirement	Included	Not Included	Explanation, if needed
3c. 12	Lighting Facilities: Identification of all illumination, including numbers and locations, indicating the direction and the degree of illumination offered by the lighting facilities and including specifications of the light fixture(s) to be used. (Also see General Bylaws Ch. IV §6.)	✓		
3c. 13	Location of Wetlands and Other Resource Areas: All resource areas as defined in M.G.L. Chapter 131, Section 40. (If applicable, the applicant shall file a Notice of Intent with the Truro Conservation Commission concurrently with the application to the Planning Board for Site Plan Review.)	✓		
3c. 14	Location and Description of Utilities. Identification of all utilities, including sewer line locations and profiles and storm drainage systems.	✓		
3c. 15	Parking and Driveway Cross Section: a cross section identifying the proposed construction of driveways and parking areas on the site.	✓		
3c. 16	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s).	✓		
3d.	Proposed landscape schedule for, and identification of, the location of all perimeter and interior landscaping – showing the following:	✓		
	Proposed paving materials for walkways	✓		
	Fences	✓		
	Stonewalls		✓	
	All planting materials to be placed on the site	✓		
	All existing trees over 10 inches diameter at breast height (DBH) to be saved or removed shall be shown on the site plan			
3e.	Building Plans – at a scale of no less than 1/8" = 1'-0" showing the following:	✓		
3e. 1	Elevations showing exterior materials and features including but not limited to doors, windows, trim, roof, lighting and including the height of the building(s).	✓		
3e. 2	Floor plans with dimensions.	✓		
3f.	Project Estimate:			
	Estimated date of initiation	✓		
	Estimated time required to complete the proposed project and any and all phases thereof	✓		
	Written cost estimate with a breakdown of the building(s) and all site improvements	✓		



## 4.0 – Criteria Review

## **ADDRESSING THE REVIEW CRITERIA**

### **§ 70.1 PURPOSE**

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

**Instructions:** Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.3F of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

### **§70.3F – REVIEW CRITERIA/DESIGN GUIDELINES**

The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw because:

~~Servicing a pre-existing campground that has been in existences before the current zoning designation. The camp ground has provided and will continue to provide tent sites that require amenities for their patrons. Previous facilities were outdated and non compliant. This acts as a suitable upgrade for a facility need replacing a pre-existing comfort station that was prior removed.~~

2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses because:

~~The current proposal does not provide any adverse environmental impacts.~~

3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro because:

~~Proposal will only provide code minimum down lighting to provide safe foot traffic.~~

4. The proposal provides for the protection of significant or important natural, historic, or scenic features because:

Provides the replacement of a non compliant comfort station, and allows a central point for tent campers to use restrooms. Proposed building is 250+ from a closest property line and would not be visible from outside of the property.

5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention because:

No scenic views and will not be visible from the public outside of the park.

6. The proposal adequately provides for refuse disposal because:

Bathrooms will contain waste barrels that are regularly emptied by staff each day. Refuse will be disposed of in an existing permitted dumpster area.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use because:

Water and sewer utilities are new to the site and tied in with DEP permitted collection system and treatment system, and DEP permitted water source that is a private source on site.

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool because:

Rain run off from roofing will be collected and infiltrated into the ground. No runoff from site will effect any sources outside of the park.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction because:

Silt Fencing is placed around the site to prevent erosion. Site is relatively flat.  
Silt fence will act as a turtle barrier.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises because:

N/A Building will not be seen from outside the property.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area because:

It is found within the existing site and matches CMU block comfort stations  
found closer to a public way. Would hold in conformity to the site, and offers  
a durable and easily cleanable building.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground because:

Existing site electrical is underground throughout the park.

13. The project shall not place excessive demands on Town services because:

Building is independent from Town Services and will only be serviced by the  
Owner.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged because:

N/A No Curb cuts required.

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15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site because:

Emergency vehicles have safe, uninterrupted access to the building ground roads and streets throughout the park.

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16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s) because:

Bike racks are provided for patrons to place their bikes while using the comfort station.

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## 5.0 – Certified List of Abutters



# TOWN OF TRURO

## Assessors Office

### Certified Abutters List

### Request Form



DATE: 09/09/2024

NAME OF APPLICANT: A/C Mobile Home Park, Inc.

NAME OF AGENT (if any): Oakhill Engineering LLC

MAILING ADDRESS: 368 Fairview Ave, Rehoboth, MA 02769 (Oakhill's Address)

CONTACT: HOME/CELL 401-575-0871 EMAIL Mark@oakhilleng.com

PROPERTY LOCATION: 67 Highland Road & 10 Old Dewline Road  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 37 PARCEL 15 & 19 EXT. \_\_\_\_\_  
(if condominium)

#### ABUTTERS LIST NEEDED FOR:

FEE: **\$15.00 per checked item**

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

<input type="checkbox"/> Board of Health <sup>5</sup>	<input type="checkbox"/> Planning Board (PB)	<input type="checkbox"/> Zoning Board of Appeals (ZBA)
<input type="checkbox"/> Cape Cod Commission	<input type="checkbox"/> Special Permit <sup>1</sup>	<input type="checkbox"/> Special Permit <sup>1</sup>
<input type="checkbox"/> Conservation Commission <sup>4</sup>	<input checked="" type="checkbox"/> Site Plan <sup>2</sup>	<input type="checkbox"/> Variance <sup>1</sup>
<input type="checkbox"/> Licensing	<input type="checkbox"/> Preliminary Subdivision <sup>3</sup>	
Type: _____	<input type="checkbox"/> Definitive Subdivision <sup>3</sup>	
<input type="checkbox"/> Other _____	(Fee: Inquire with Assessors)	

(Please Specify)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

#### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 9/10/2024 Date completed: 9/10/2024  
List completed by: [Signature] Date paid: 9/10/2024 Cash/Check online CC

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.



## TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

**Date:** September 10, 2024

**To:** Oakhill Engineering LLC, Agent for A/C Mobile Home Park, Inc.

**From:** Assessors Department

**Certified Abutters List:** 67 South Highland Road and 10 Old Dewline Road (Map 37, Parcels 15 & 19)

**Planning Board/ Site Plan**

Attached is a combined list of abutters for 67 South Highland Road and 10 Old Dewline Road.

The current owner is A/C Mobile Home Park, Inc..

The names and addresses of the abutters are as of September 6, 2024 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

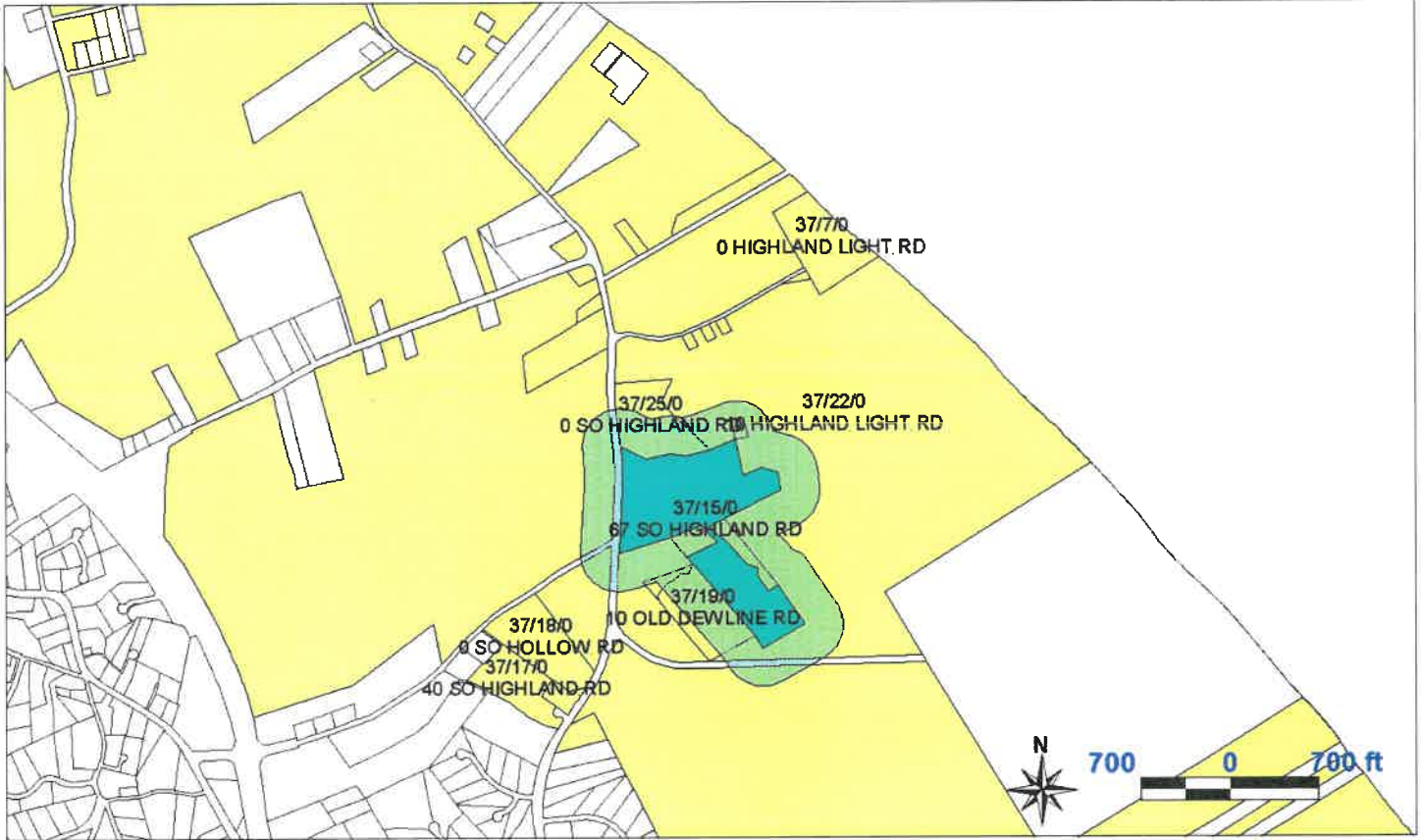
Olga Farrell  
Assessing Clerk



67 South Highland Road &  
10 Old Dewline Road  
Map 37, Parcels 15 & 19  
Planning Board/ Site Plan

TOWN OF TRURO, MA  
BOARD OF ASSESSORS  
P.O. BOX 2012, TRURO MA 02666

### Abutters List Within 300 feet of Parcel 37/15/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1111	37-5-0-R	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON	6 OCEAN BLUFF LN	PO BOX 954	NO TRURO	MA	02652
1112	37-6-0-R	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON	12 OCEAN BLUFF LN	PO BOX 954	NO TRURO	MA	02652
1113	37-7-0-E	U S COAST GUARD	0 HIGHLAND LIGHT RD	37 MAIN ST	CHATHAM	MA	02633
1115	37-9-0-R	READY ROBERT & LEVIN SUSAN M	90 SO HIGHLAND RD	147 WEST 87TH ST	NEW YORK	NY	10024
1116	37-10-0-R	KACZOR MAREK & ALEXANDRA	84 SO HIGHLAND RD	PO BOX 416	OAKLAND	NJ	07436
1117	37-11-0-E	U S A DEPT OF THE INTERIOR	15 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1118	37-12-0-E	U S A DEPT OF THE INTERIOR	0 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1119	37-13-0-R	FARM VIEW REALTY TRUST TRS: ZARETTE FRANCIS & DEBRA A	11 HIGHLAND LIGHT RD	625 SOUTH ST	SHREWSBURY	MA	01545
1120	37-14-0-R	KIHN NOMINEE TRUST TRS: KIHN MICHAEL A & CECILY C	7 HIGHLAND LIGHT RD	2223 DELANCEY PL	PHILADELPHIA	PA	19103
1121	37-15-0-R	A/C MOBILE HOME PARK INC	67 SO HIGHLAND RD	905 16TH PLACE	VERO BEACH	FL	32960
1122	37-16-0-E	U S A DEPT OF THE INTERIOR	0 SO HIGHLAND RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1123	37-17-0-R	WIDDISON FAMILY TRUST TRS: WIDDISON JOHN J	40 SO HIGHLAND RD	2277 STATE RD	PLYMOUTH	MA	02360
1124	37-18-0-E	U S A DEPT OF THE INTERIOR	0 SO HOLLOW RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1125	37-19-0-R	A/C MOBILE HOME PARK INC	10 OLD DEWLINE RD	905 16TH PLACE	VERO BEACH	FL	32960
1127	37-21-0-E	U S A DEPT OF THE INTERIOR	86 SO HIGHLAND RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667

*Handwritten signature:* J. Dea/p/p/2024

9/10/2024

Page

1

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1128	37-22-0-E	U S A DEPT OF THE INTERIOR	10 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
7692	37-25-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7693	37-26-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7694	37-27-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7691	37-28-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 OLD DEWLINE RD	PO BOX 327	NO TRURO	MA	02652
1547	40-127-0-R	DERCOLE ANN & BRADY LINDA	45 SO HIGHLAND RD	105 W 89TH ST APT 2B	NEW YORK	NY	10024
6567	40-168-0-R	WALKER STEPHEN M & VORNDRAN DARCEE M	42 SO HIGHLAND RD	PO BOX 313	NORTH TRURO	MA	02652
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667

*SW* 9/10/2024

37-5-0-R	37-6-0-R	37-7-0-E
TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON PO BOX 954 NO TRURO, MA 02652	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON PO BOX 954 NO TRURO, MA 02652	U S COAST GUARD 37 MAIN ST CHATHAM, MA 02633
37-9-0-R	37-10-0-R	37-11-0-E
READY ROBERT & LEVIN SUSAN M 147 WEST 87TH ST NEW YORK, NY 10024	KACZOR MAREK & ALEXANDRA PO BOX 416 OAKLAND, NJ 07436	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667
37-12-0-E	37-13-0-R	37-14-0-R
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	FARM VIEW REALTY TRUST TRS: ZARETTE FRANCIS & DEBRA A 625 SOUTH ST SHREWSBURY, MA 01545	KIHN NOMINEE TRUST TRS: KIHN MICHAEL A & CECILY C 2223 DELANCEY PL PHILADELPHIA, PA 19103
37-15-0-R	37-16-0-E	37-17-0-R
A/C MOBILE HOME PARK INC 905 16TH PLACE VERO BEACH, FL 32960	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	WIDDISON FAMILY TRUST TRS: WIDDISON JOHN J 2277 STATE RD PLYMOUTH, MA 02360
37-18-0-E	37-19-0-R	37-21-0-E
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	A/C MOBILE HOME PARK INC 905 16TH PLACE VERO BEACH, FL 32960	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667
37-22-0-E	37-25-0-E	37-26-0-E
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652
37-27-0-E	37-28-0-E	40-127-0-R
TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	DERCOLE ANN & BRADY LINDA 105 W 89TH ST APT 2B NEW YORK, NY 10024
40-168-0-R	40-999-0-E	
WALKER STEPHEN M & VORNDRAN DARCEE M PO BOX 313 NORTH TRURO, MA 02652	USA-DEPT OF INTERIOR Cape Cod National Seashore 99 Marconi Site Rd Wellfleet, MA 02667	

## 6.0 – Town Fee

OAKHILL ENGINEERING LLC  
75 OAK HILL AVE  
SEEKONK, MA 02771-1100

1965  
50-7044/2219

09/17/24 Date

Pay to the  
Order of Town of Turo

Two Hundred Fifty 00/100

\$ 250.00

Dollars

Photo  
Safe  
Deposit  
Details on back



WebsterBank

Webster Bank, N.A. Member FDIC

For Site Plan Review - Hortons  
Campground

*[Signature]*

MP

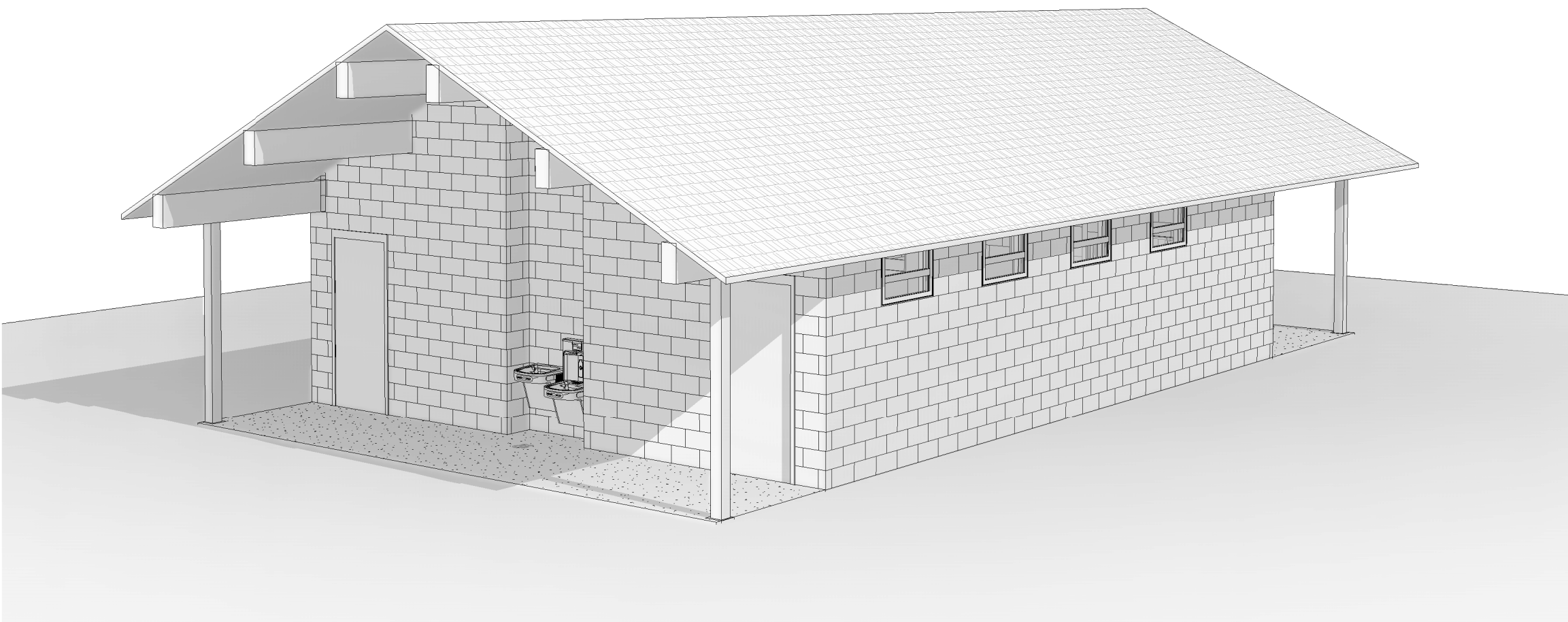


# ADVENTURE BOUND CAMPING RESORTS

## ADVENTURE BOUND - COMFORT BUILDING TRURO, MA



**Weston & Sampson**  
Weston & Sampson Engineers, Inc.  
100 Foxborough Boulevard, Suite 250  
Foxborough, MA 02035  
978.532.1900 600.SAMPSON  
www.westonandsampson.com

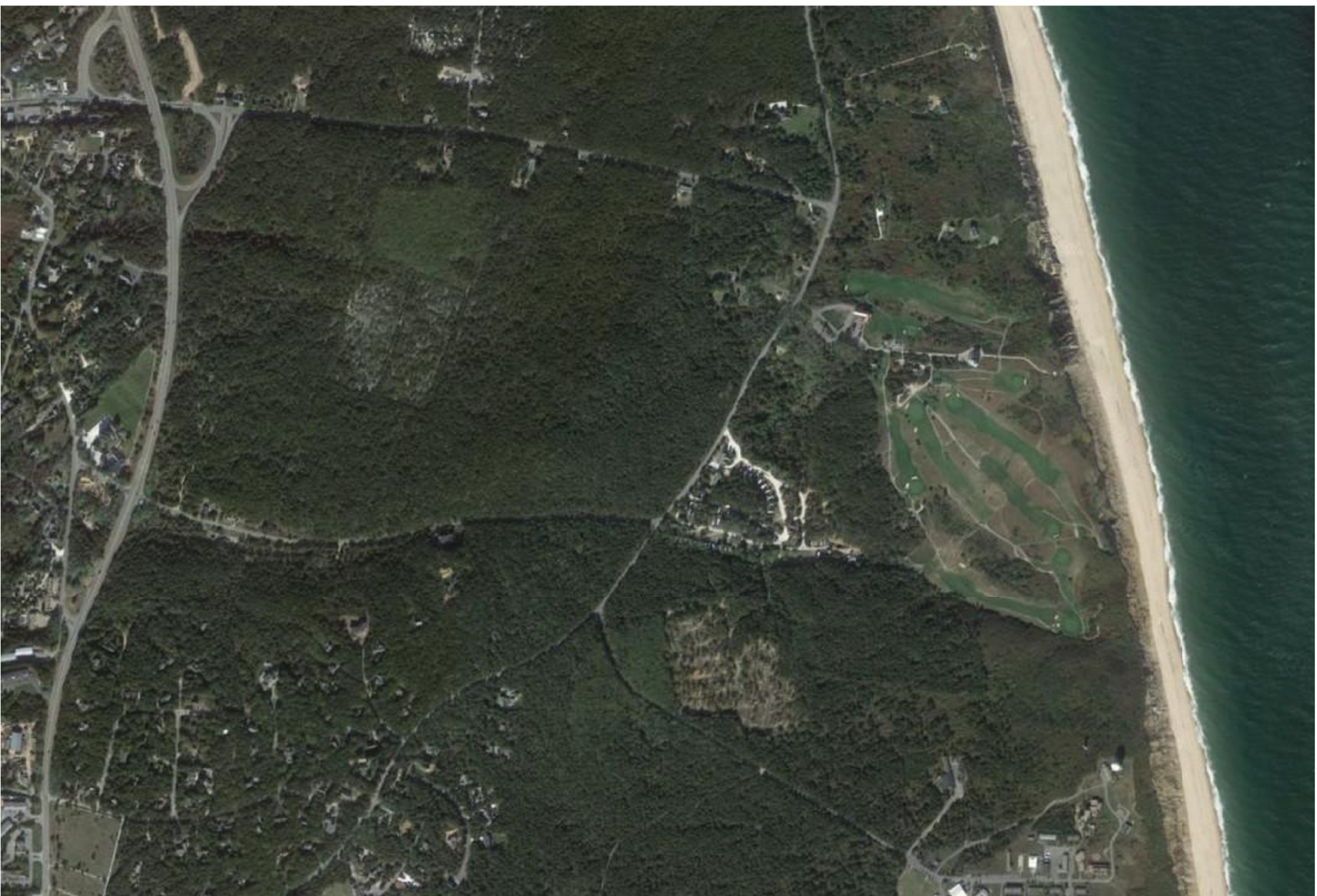


DRAWING LIST

GENERAL	
G000	TITLE SHEET
ARCHITECTURAL	
A011	ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES, & WALL TYPES
A021	GENERAL NOTES
A101	OVERALL FLOOR PLANS
A103	OVERALL ROOF PLAN & DETAILS
A201	OVERALL ELEVATIONS
A231	3D VIEWS
A301	BUILDING & WALL SECTIONS
A701	INTERIOR ELEVATIONS



Location Map



Vicinity Map

Issue Date: 11/14/2023

Issued For: Permit





## CODE PLAN LEGEND

EXIT CAPACITY

###

101

150SF  
50SF/P

3P

ACTUAL EGRESS OF DOOR OR STAIR  
MAXIMUM ALLOWABLE EGRESS  
CAPACITY OF DOOR OR STAIR  
ROOM NUMBER  
MAXIMUM NUMBER OF ALLOWABLE OCCUPANTS  
AREA IN NET SQUARE FEET (GROSS SQUARE FEET)  
OCCUPANCY LOAD FACTOR

115'

15

→

→

PATH OF MAXIMUM TRAVEL DISTANCE TO EXIT  
DIRECTION OF TRAVEL TO EXIT

HANDICAPPED ACCESSIBLE AREA OR EXIT

A = 33" x 48"      D = 36" x 60"  
B = 33" x 60"      E = 30" x 48"  
C = 36" x 48"      F = 30" x 50"

FIRE EXTINGUISHERS:

FE = FIRE EXTINGUISHER, BRACKET MOUNTED  
FEC = FIRE EXTINGUISHER, CABINET MOUNTED (SEMI-RECESSED)

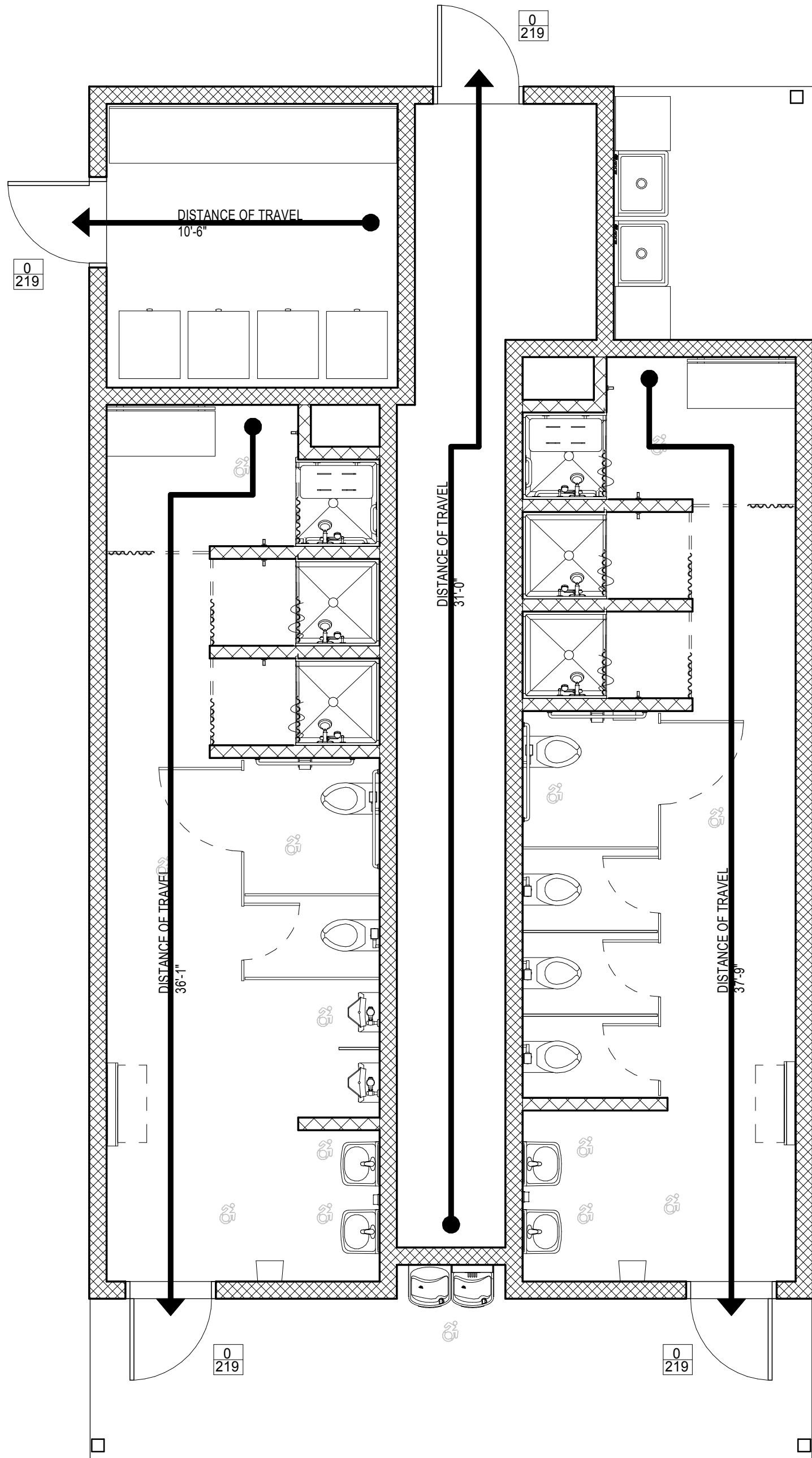
SEPARATIONS ARE DESIGNATED AS FOLLOWS:

2 HOUR FIRE-RESISTANCE RATED FIRE BARRIER  
1 HOUR FIRE-RESISTANCE RATED FIRE BARRIER  
SMOKE RESISTANT SEPARATION

ADDRESS IDENTIFICATION SIGNAGE: IFC 505.1

87

- APPLICABILITY:
- VERIFY SPECIFIC REQUIREMENTS WITH LOCAL FIRE CODE OFFICIAL
  - CHARACTER HEIGHT - 4" MINIMUM W/ 1/2" STROKE MINIMUM
  - COLOR - EASILY IDENTIFIABLE COLOR, CONTRASTING WITH BACKGROUND



1 FIRST FLOOR - CODE PLAN  
1/4" = 1'-0" 1/ A201

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA  
ADVENTURE BOUND CAMPING RESORTS



Weston & Sampson  
Weston & Sampson Engineers, Inc.  
100 Foxborough Boulevard, Suite 250  
Foxborough, MA 02035  
978.532.1900 800.SAMPSON

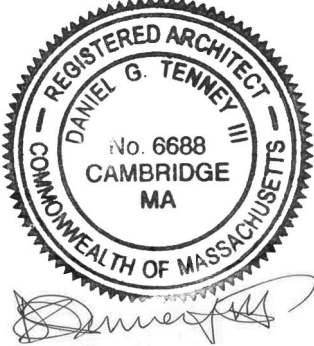
www.westonandsampson.com

Consultants:

Revisions:

No.	Date	Description

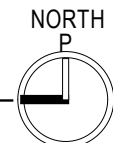
Seal:



Issued For: Permit

Scale: As indicated

Key Plan:



Date: 11/14/2023  
Drawn By: MMF  
Reviewed By: BPM  
Approved By: JB

W&S Project No.: ENG21-1089  
W&S File No.: TBD

Drawing Title:

CODE SUMMARY

Sheet Number:

G101



## WALL TYPE NOTES

1. WALL TYPES LISTED REPRESENT SEVERAL TYPES OF WALL CONSTRUCTION, ALL OF WHICH MAY NOT BE USED ON THIS PROJECT. REFER TO FLOOR PLANS FOR WALL TYPE DESIGNATIONS.
2. EXTEND ALL METAL STUDS AND GYPSUM BOARD TO UNDERSIDE OF DECK, WHERE ABUSE RESISTANT GYPSUM BOARD (ARGB) IS USED, EXTEND ARGB TO 6" ABOVE FINISH CEILING, CONTINUE WITH GYPSUM BOARD TO UNDERSIDE OF DECK.

3. AT ALL NON-FIRE RATED PARTITIONS, FILL VOIDS WITH SOUND ATTENUATION INSULATION INCLUDING, BUT NOT LIMITED TO, FLUTES IN METAL FLOOR / ROOF DECK, VOIDS BETWEEN PARTITIONS AND STRUCTURAL MEMBERS, PENETRATIONS OF DUCTWORK, ELECTRICAL CONDUIT, PIPING, ETC.

4. GYPSUM BOARD AND ARGB USED IN A ONE, TWO, OR THREE HOUR FIRE-RESISTANCE RATED PARTITION MUST BEAR THE U.L. CLASSIFICATION MARKING.

### SMOKE PARTITIONS:

5. NON-FIRE-RESISTANCE RATED PARTITIONS REQUIRED TO RESIST THE PASSAGE OF SMOKE ARE DESIGNATED AS "SMOKE RESISTANT" WITH AN ASTERISK (\*) LOCATED BELOW THE WALL TYPE DESIGNATION. EXTEND ALL SMOKE PARTITIONS TO THE UNDERSIDE OF METAL FLOOR / ROOF DECK AND / OR STRUCTURE ABOVE. PENETRATIONS AND VOIDS SHALL BE FIRESTOPPED IN ACCORDANCE WITH DIVISION 07 SPECIFICATION SECTION "FIRESTOPPING". ALL HEAD-OF-WALL JOINTS AND FLOOR-TO-WALL JOINTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRESTOPPING".

### SMOKE BARRIERS:

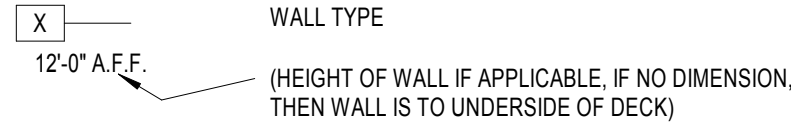
6. FOR THE PURPOSE OF SUBDIVIDING BUILDING SPACES, SMOKE BARRIERS ARE FIRE-RESISTANCE RATED PARTITIONS, DESIGNATED WITH AN "S" LOCATED ADJACENT TO THE WALL TYPE DESIGNATION.

7. PROVIDE SMOKE DAMPERS AT DUCTWORK PENETRATIONS IN ALL ONE, TWO, AND THREE HOUR FIRE-RESISTANCE RATED SMOKE BARRIERS.

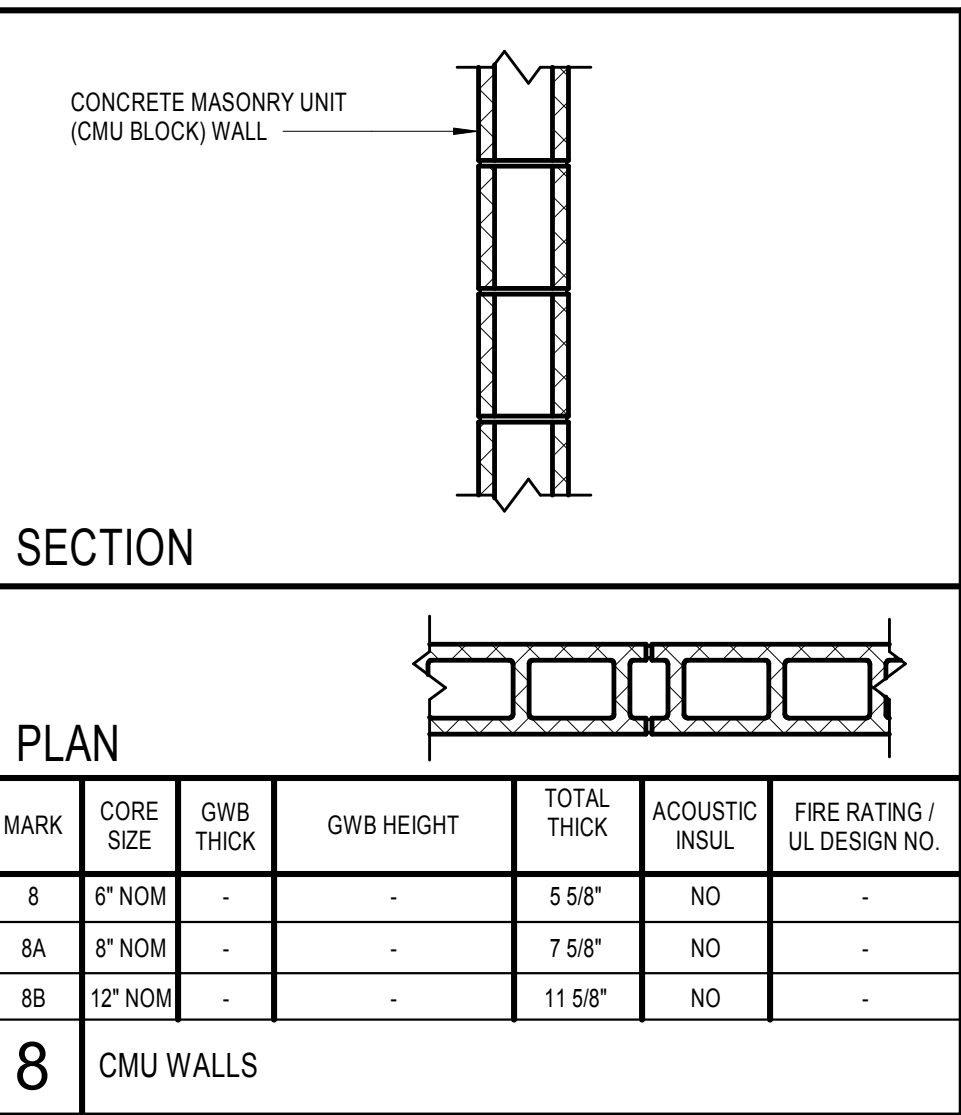
8. REFER TO FIRE-RESISTANCE RATED CONSTRUCTION FOR ADDITIONAL REQUIREMENTS.

### FIRE-RESISTANCE RATED CONSTRUCTION:

9. ALL FIRE-RESISTANCE RATED PARTITIONS RESIST THE PASSAGE OF SMOKE AND ARE CONSIDERED SMOKE RESISTANT WITHOUT THE ASTERISK DESIGNATION. EXTEND ALL FIRE-RESISTANCE RATED PARTITIONS TO THE UNDERSIDE OF METAL FLOOR/ROOF DECK AND/OR STRUCTURE ABOVE. PENETRATIONS AND VOIDS SHALL BE FIRESTOPPED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRESTOPPING". ALL HEAD-OF-WALL JOINTS AND FLOOR-TO-WALL JOINTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRE-RESISTIVE JOINT SYSTEMS."



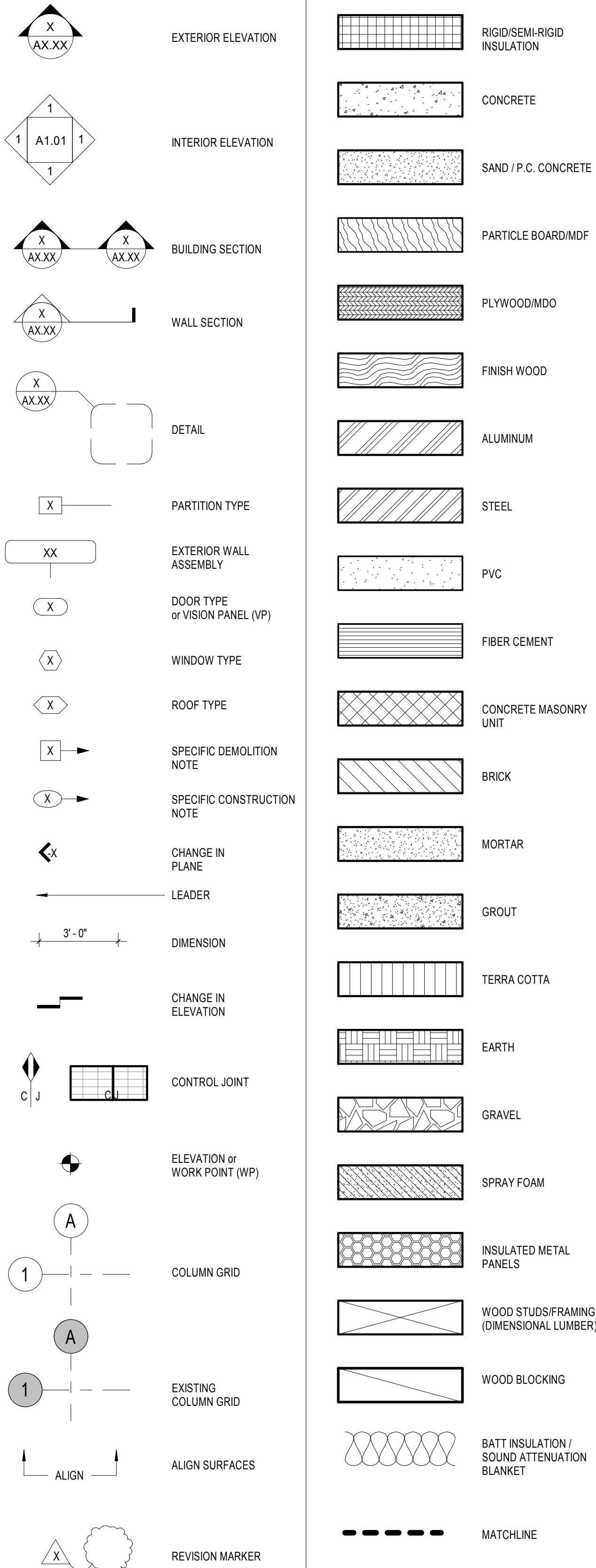
10. GYPSUM BOARD AT EXTERIOR WALLS IS TO GO TO THE UNDERSIDE OF DECK AND HAVE THE ROOF VAPOR BARRIER / FABRIC LINER EXTEND AND SEALED AGAINST THE BACK SIDE OF THE GYPSUM BOARD.



## ABBREVIATION

A	AIR CONDITION	F	FIRE ALARM	MH	MANHOLE	SHR	SHOWER
AC	ACOUSTICAL	FAAP	FIRE ALARM ANNUNCIATOR PANEL	MIN	MINIMUM	SIM	SIMILAR
ACT	ACOUSTICAL CEILING TILE	FACP	FIRE ALARM CONTROL PANEL	MIR	MIRROR	SND	SANITARY NAPKIN DISPENSER
ADJ	ADJACENT	FAK	FIRST AID KIT	MISC	MISCELLANEOUS	SNV	SANITARY NAPKIN VENDOR
AFF	ABOVE FINISH FLOOR	FB	FIRE BLANKET	ML	MATCH LINE	SOLSUR	SOLID SURFACE (COUNTER)
ALT	ALTERNATE	FC	FILE CABINET	MDG	MOULDING	SPC	SPECIAL
ALUM	ALUMINUM	FD	FLOOR DRAIN	MO	MASONRY OPENING	SPEC	SPECIFICATION
ANC BLT	ANCHOR BOLT	FE	FIRE EXTINGUISHER	MOD	MODULAR	SQ	SQUARE
ANOD	ANODIZED	FEC	FIRE EXTINGUISHER CABINET	MR	MOISTURE RESISTANT	SR	SHEET RUBBER
APPROX	APPROXIMATE	FF	FINISH FLOOR	MRGB	MOISTURE RESISTANT GYPSUM BOARD	SS	STAINLESS STEEL
ARCH	ARCHITECT	FFE	FINISH FLOOR ELEVATION	MS	METAL STUD	STD	STANDARD
ARGB	ABUSE RESISTANT GYPSUM BOARD	FG	FIBERGLASS	MTD	MOUNTED	STL	STEEL
ASPH	ASPHALT	FIN	FINISH	MTL	METAL	STOR	STORAGE
AVB	AIR VAPOR BARRIER	FLASH	FLASHING	FLOOR	METAL TOILET PARTITION	STRUCT	STRUCTURE or STRUCTURAL
		FLR	FLOOR			SUSP	SUSPENDED or SUSPENSION
		FLUOR	FLUORESCENT			SV	SHEET VINYL
B		FOC	FACE OF CONCRETE	N		SYS	SYSTEM(S)
BC	BASE CABINET	FOF	FACE OF FINISH	N/A	NOT APPLICABLE		
BD	BOARD	FOM	FACE OF MASONRY	NAT	NATURAL	T	
BF	BRACE FRAME	FOS	FACE OF STUD	NIC	NOT IN CONTRACT	T & B	TOP AND BOTTOM
BITUM	BITUMINOUS	FOUND	FOUNDATION	NO	NUMBER	T & G	TONGUE AND GROOVE
BLDG	BUILDING	FP	FIREPROOF(ING)	NOM	NOMINAL	TB	TRASH BARREL
BLK	BLOCK	FR	FIRE RETARDANT	NTS	NOT TO SCALE	TBA	TO BE ABANDONED
BLKG	BLOCKING	FRP	FIBERGLASS REINFORCED WALL PANEL	NUM	NUMBER	TBB	TILE BACKER BOARD
BM	BENCH MARK			NW	NEW	TBD	TO BE DETERMINED
BOF	BOTTOM OF FOOTING	FRTW	FIRE RETARDANT TREATED WOOD			TBOC	TOP BACK OF CURB
BOS	BOTTOM OF STEEL	FSB	FILED SUB BID	O		TEL	TELEPHONE
BOTT	BOTTOM	FT	FEET	OA	OVERALL	TEMP	TEMPORARY
BPL	BEARING PLATE	FTG	FOOTING	OC	ON CENTER	THK	THICK(NESS)
BRG	BEARING	FUR	FURRING	OD	OUTSIDE DIAMETER	THRESH	THRESHOLD
BRK	BRICK			OH	OVERHEAD DOOR	TOC	TOP OF CONCRETE
BS	BRICK SHELF			OPNG	OPENING	TOF	TOP OF FOOTING
BSMT	BASEMENT	G		OPP	OPPOSITE	TOL	TOP OF LANDING
BVL	BEVELED	GA	GAUGE	OPHAN	OPPOSITE HAND	TOP	TOP OF PLATE
		GALV	GALVANIZED	D		TOS	TOP OF STEEL
CAB	CABINET	GB	GRAB BAR	OSB	ORIENTED STRAND BOARD	TOW	TOP OF WALL
CB	CEMENT BOARD / CATCH BASIN	GC	GENERAL CONTRACTOR	OTS	OPEN TO STRUCTURE	TR	TRANSLUCENT PANEL
CDM	CAVITY DRAINAGE MATERIAL	GDRL	GUARD RAIL	OW	OPERABLE WALL	TREAD	TREAD
CF	CUBIC FEET	GL	GLASS	OZ	OUNCE	TTD	TUBULAR STEEL
CH	CEILING HEIGHT	GLB	GLAZED BLOCK			TTT	TOILET TISSUE DISPENSER
CIP	CAST IN PLACE	GN	GOOSENECK	P		TW	TO WEATHER
CJ	CONTROL JOINT	GRT	GROUT	PART	PARTICLE BOARD	TYP	TYPICAL
CL	CENTER LINE / COLUMN LINE	GWB	GYPSUM WALL BOARD	BD			
CL	CLOSET / CHAIN LINK			PAV	PAVING	U	
CLG	CEILING			PCP	PRECAST CONCRETE PLANK	UC	UNDERCUT
CLOS	CLOSET	H		PERIM	PERIMETER	UG	UNDERGROUND
CLR	CLEAR	HB	HOSE BIB	PL	PROPERTY LINE / PLATE	UND	UNDERSIDE (OF DECK)
CMU	CONCRETE MASONRY UNIT	HC	HANDICAP	PLAM	PLASTIC LAMINATE	UNFIN	UNFINISHED
CNTR	COUNTER	HD	HEAVY DUTY	PLAS	PLASTIC	UNO	UNLESS NOTED OTHERWISE
CO	CASED OPENING	HDWR	HARDWARE	PLY	PLYWOOD	UV	UNIT VENTILATOR
COL	COLUMN	HM	HOLLOW METAL	PMUF	PRE-MOLDED JOINT FILLER		
COMP	COMPOSITION	HOR	HORIZONTAL	PNT	PAINT	V	
CONC	CONCRETE	HP	HIGH POINT	PR	PAIR	VB	VINYL BASE / VAPOR BARRIER
CONST	CONSTRUCTION	HT	HEIGHT	PREFIN	PREFINISHED	VCT	VINYL COMPOSITION TILE
CONT	CONTINUOUS	HTR	HEATER	PRFB	POURED RESIN FLOOR BASE	VERT	VERTICAL
CONTC	CONTRACTOR	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	PSF	POUNDS PER SQUARE FOOT	VEST	VESTIBULE
CONV	CONVECTOR	HW	HOT WATER	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
COORD	COORDINATE			PT	PRESSURE TREATED	VPD	VENEER PLASTER BASE
CORR	CORRIDOR	I		PTD	PAPER TOWEL DISPENSER	VS	VENT STACK
CPET	COMMON PATH OF EGRESS TRAVEL	ID	INSIDE DIAMETER	PTD	PAINTED	VT	VINYL TREAD
CPT	CARPET	IN	INCH	PTN	PARTITION	VTS	VINYL TRANSITION STRIP
INCL	INCLUDED	INCL	INCLUDED	PVC	POLYVINYL CHLORIDE	VWB	VINYL WALL BASE
INFO	INFORMATION	INT	INTERIOR	PVMT	PAVEMENT	VWC	VINYL WALL COVERING
INSUL	INSULATION	INV	INVERT				
INT	INTERIOR	IRGWB	IMPACT-RESISTANT GWB	Q		W	
INV	INVERT			QT	QUARRY TILE	W	WASHER
IRGWB	IMPACT-RESISTANT GWB					W	WITH
		J		R		W/O	WITHOUT
D		JAN	JANITOR	R	RISER	WB	WOOD BASE
D	DRYER	JST	JOIST	R & D	REMOVE & DISPOSE	WC	WALL CABINET
D-PART	DEMOUNTABLE PARTITION	JT	JOINT	R & R	REMOVE AND REPLACE	WD	WOOD
DBL	DOUBLE			R & S	REMOVE AND SALVAGE	WDC	WATERPROOFING, DAMPPROOFING, & CAULKING CONTRACTOR
DEMO	DEMOLITION	K		RAD	RADIUS	WF	WIRE FABRIC
DF	DRINKING FOUNTAIN	KD	KNOCK-DOWN	RCP	REFLECTED CEILING PLAN	WG	WIRE GLASS
DH	DOUBLE HUNG	KIP	1,000 LBS	RD	ROOF DRAIN	WH	WALL HUNG
DI	DRAIN INLET	KO	KNOCKOUT	REF	REFRIGERATOR	WIN	WINDOW
DIA	DIAMETER	KPLT	KICKPLATE	REFURB	REFURBISH	WP	WATER PROTECTION
DIAG	DIAGONAL			REINF	REINFORCEMENT	WPG	WATERPROOF(ING)
DIM	DIMENSION	L		RELOC	RELOCATED	WR	WATER RESISTANT
DIST	DISTANCE	L	LENGTH	REM	REMOTE	WS	WATER STOP
DL	DRAIN LEADER	L	LENGTH	REQD	REQUIRED		
DN	DOWN	LAM	LAMINATE	RES	RESILIENT		
DR	DOOR	LAV	LAVATORY	REV	REVISION		
DS	DOWNSPOUT	LBL	LABEL	RFG	ROOFING		
DTL	DETAIL	LC	LEAD COATED	RFI	RIGID FOAM INSULATION		
DW	DISHWASHER	LCC	LEAD COATED COPPER	RFS	RESINOUS FLOOR SYSTEM		
DWG	DRAWING	LGMF	LIGHT-GAUGE METAL FRAMING	RH	RIGHT HAND		
		LIN	LINOLEUM	RL	ROOF LADDER		
E		LLH	LONG LEG HORIZONTAL	RM	RUBBER MAT		
EA	EACH	LLV	LONG LEG VERTICAL	RO	ROUGH OPENING		
EF	EACH FACE	LSC	LIFE SAFETY CODE	RT	RUBBER TILE		
EIFS	EXTERIOR INSULATED FINISH SYSTEM	LT	LIGHT	RTU	ROOF TOP UNIT		
EJ	EXPANSION JOINT	M		RUB	RUBBER		
EL	ELEVATION	M	METER	S			
ELEC	ELECTRIC	MANUF	MANUFACTURER	S	SEALANT		
ELEV	ELEVATOR	MAS	MASONRY	S.L.	STRUCTURAL LINE		
EMER	EMERGENCY	MAT	MATERIAL	SACI	SPRAY-APPLIED CELLULOSE INSULATION		
ENCL	ENCLOSURE	MAX	MAXIMUM	SACP	SECURITY ALARM CONTROL PANEL		
EOC	EDGE OF CONCRETE	MB	MOISTURE BARRIER	SAFI	SPRAY-APPLIED FOAM INSULATION		
EP	ELECTRICAL PANEL	MBL	MARBLE	SCHED	SCHEDULE		
EQ	EQUAL	MBM	METAL BUILDING MANUFACTURER	SCR	SHOWER CURTAIN ROD		
EQUIP	EQUIPMENT	MCR	MEMBER	SCW	SOLID CORE WOOD		
ER	EXISTING TO REMAIN	MDF	MEDIUM DENSITY FIBERBOARD	SD	SOAP DISPENSER		
ES	EXPOSED STRUCTURE	MDO	MEDIUM DENSITY OVERLAY	SECT	SECTION		
EW	EACH WAY	MECH	MECHANICAL	SF	SQUARE FEET		
EXH	EXHAUST	MFR	MANUFACTURER	SH	SINGLE HUNG		
EXIST	EXISTING						
EXP	EXPANSION						
EXT	EXTERIOR						

## SYMBOLS



### ADMINISTRATION

100

1 View Name  
1/8" = 1'-0"

DRAWING TITLE  
(ORIGINAL TAG REFERENCE  
LOCATED NEXT TO SCALE)

Project: ADVENTURE BOUND -  
COMFORT BUILDING  
TRURO, MA

ADVENTURE BOUND CAMPING  
RESORTS



Weston & Sampson  
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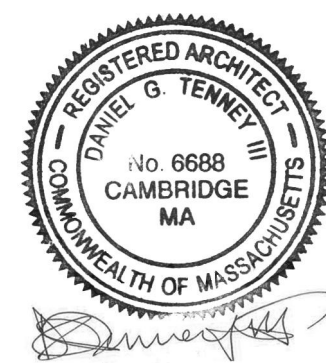
www.westonandsampson.com

Consultants:

Revisions:

No.	Date	Description

Seal:

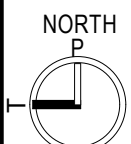


Issued For:

Permit

Scale: As indicated

Key Plan:



Date: 11/14/2023

Drawn By: MMF

Reviewed By: BPM

Approved By: JB

W&S Project No.: ENG21-1089

W&S File No.: TBD

Drawing Title:

ABBREVIATIONS,  
SYMBOLS, LEGEND,  
GENERAL NOTES, &  
WALL TYPES

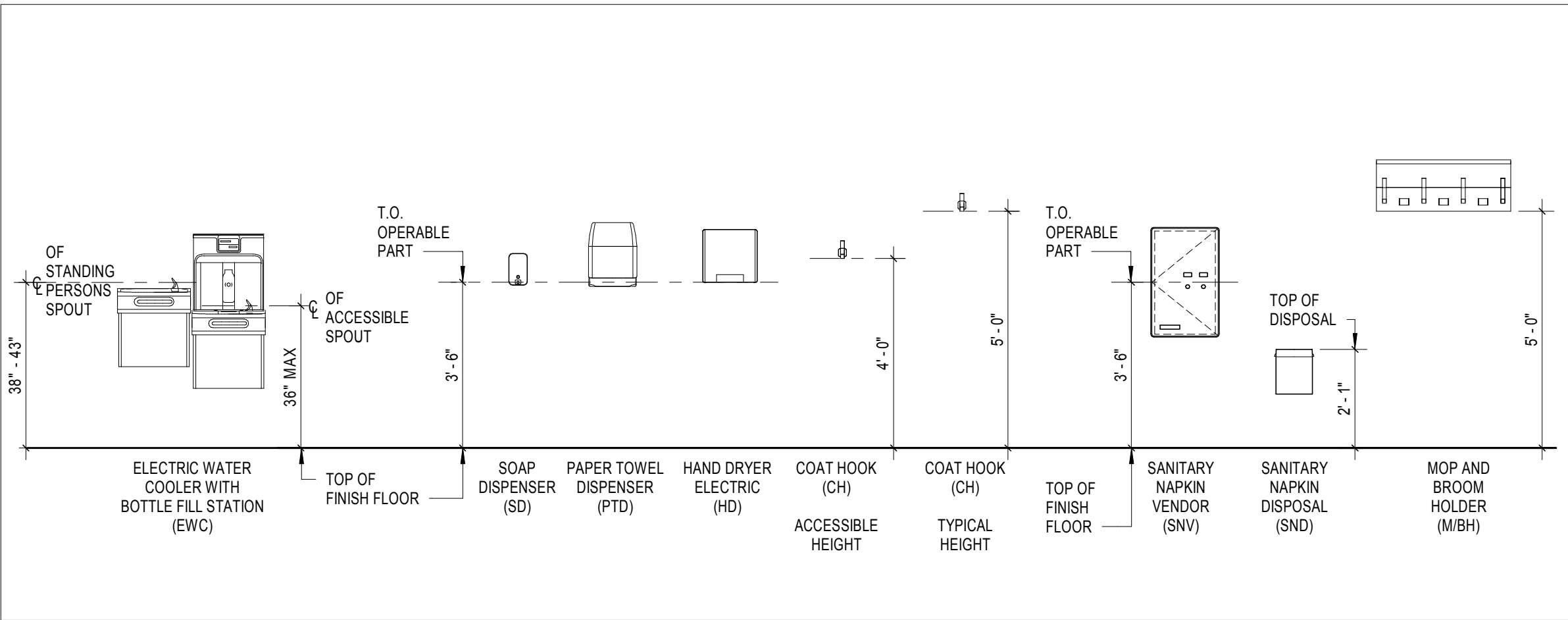
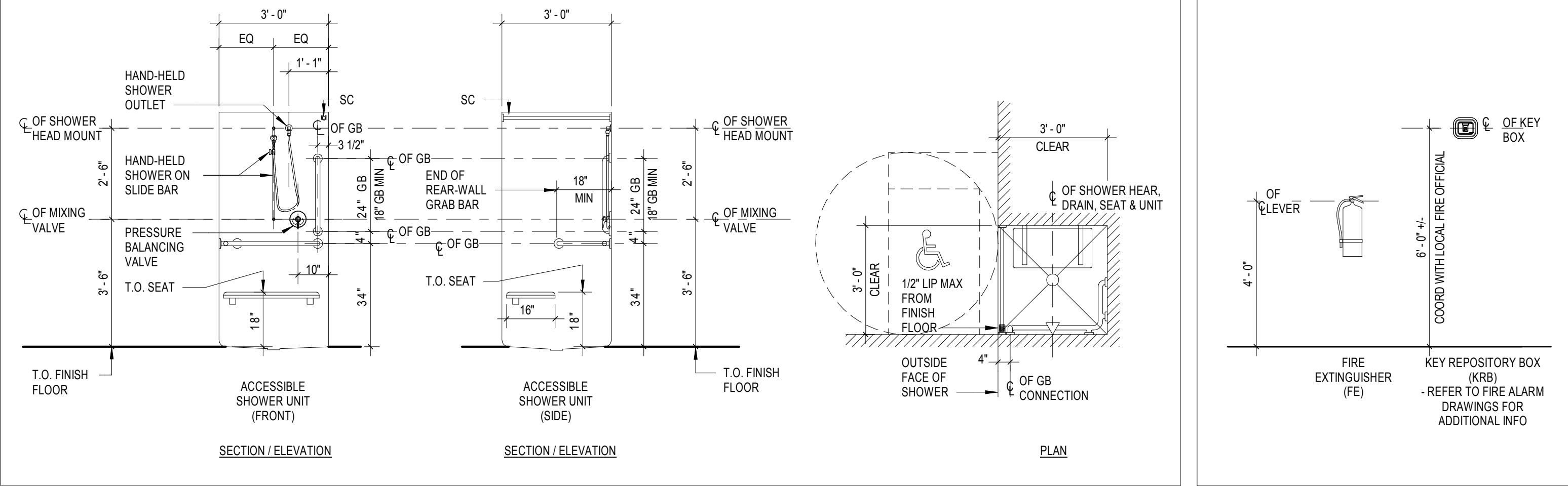
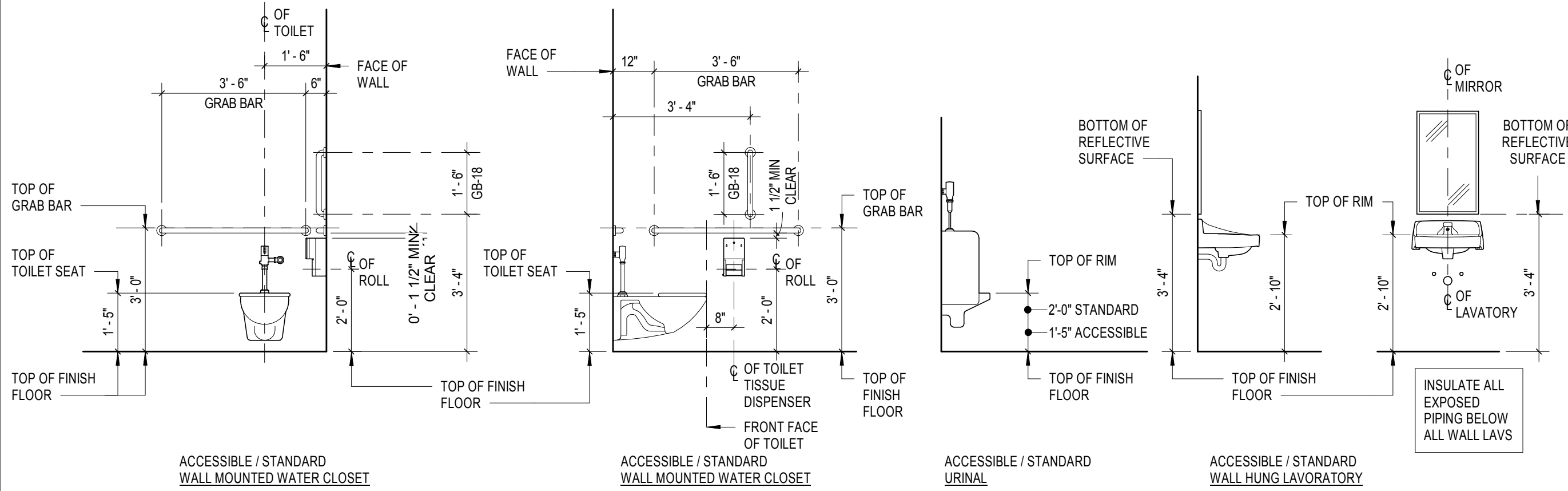
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A011



PLUMBING FIXTURE SCHEDULE / MOUNTING HEIGHTS

3/8" = 1'-0"



GENERAL NOTES:

- PROVIDE BULLNOSE TOP COURSE AND CEMENTITIOUS TILE BACK BOARD / CEMENT BOARD AT ALL CERAMIC TILE LOCATIONS. TYPICAL. INSTALLATION OF CERAMIC TILE OVER GYPSUM BOARD EXCEPT FOR A KITCHENETTE BACKSPLASH IS NOT ACCEPTABLE.
- PROVIDE CONT. BLOCKING AT SHELVING, ACCESS PANELS, DISPLAY MONITORS, MARKER BOARDS ETC. COORDINATE LOCATION IN FIELD.
- MOISTURE RESISTANT (MR) GYPSUM BOARD TO BE USED IN ALL TOILET ROOM / RESTROOM FACILITIES.
- PROVIDE PVC SHIMS AS NECESSARY TO MAKE TOILET ROOM ACCESSORIES SUCH AS PTD'S, MIRRORS, SD'S, TOILET PARTITIONS, ETC., FLUSH ON WALL OVER CERAMIC TILE WAINSCOT. SHIMS TO BE PAINTED BY PAINTING FSB. THICKNESS TO MATCH CERAMIC WALL TILE.

TOILET ACCESSORY SCHEDULE - DIV 10

MARK	DESCRIPTION
SD	SOAP DISPENSER
PTD	PAPER TOWEL DISPENSER
TTD	TOILET TISSUE DISPENSER
TB	TRASH BARREL
MARK	DESCRIPTION
CH	COAT / ROBE HOOK
GB	GRAB BAR (DIMENSION PER PLANS)
MIRR	MIRROR
SC	SHOWER CURTAIN
CR	CURTAIN ROD FOR SHOWER

GENERAL NOTES

- COORDINATE THE ARCHITECTURAL DRAWINGS WITH STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL, AND ELECTRICAL / FIRE ALARM DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS.
- FINISH FIRST FLOOR SLAB ELEVATION HIGH POINT IS 0'-0" FOR THIS PROJECT.
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD / FACE OF MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE TOWN FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO THE STATE FIRE REGS AND NFPA.
- COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE ELECTRICAL / FIRE ALARM DRAWINGS AND THE TOWN FIRE DEPARTMENT REQUIREMENTS. ELECTRICAL CONTRACTOR TO PROVIDE KNOX BOX THAT MEET THE TOWN FIRE DEPARTMENT REQUIREMENTS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL NOTIFY THE DESIGNER REGARDING ANY DISCREPANCIES.
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ECT., INCLUDING COLOR CHARTS FOR PAINTS, FOR ALL INTERIOR FINISHES, TO THE DESIGNER FOR SELECTION, REVIEW AND APPROVAL WITH THE OWNER PRIOR TO FABRICATION OR INSTALLATION. THE COLORS MUST BE SUBMITTED IN A TIMELY MANNER AND TOGETHER FOR REVIEW AND COLOR BOARDS. FAILURE TO DO SO IN A TIMELY MANNER WILL FALL ON THE CONTRACTOR'S RESPONSIBILITY AND NOT ON THE OWNER. REFER TO EACH INDIVIDUAL SPECIFICATIONS FOR SIZE, QUANTITY AND TYPE OF COLOR SELECTION.
- PERFORM ALL WORK IN ACCORDANCE WITH THE STATE BUILDING CODE, AS WELL AS LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, BACKCHARGES AND FEES AS REQUIRED BY THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
- THE CONTRACTOR SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING 2500 PSI GROUT. U.N.O. INSTALL ANY REQUIRED FIRE RATED PARTITIONS TO UNDERSIDE OF FLOOR AND ROOF DECK, INCLUDING DEFLECTION HEAD FIRE SAFING.
- INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
- THE CONTRACTOR SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO STATE BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO 521 CMR.
- INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS AT 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A GAP FILLING SYSTEM OR OTHER SYSTEM WHICH SPANS ANY GAP IN THE EXTERIOR WALL SYSTEM WHICH DOES NOT MEET THE MAXIMUM SPAN OF THE APPROVED AIR BARRIER MEMBRANE SYSTEM. THIS SYSTEM SHALL BE PROVIDED TO ALLOW FOR A COMPLETE AIR BARRIER MEMBRANE INSTALLATION. THE SYSTEM SHALL BE COMPATIBLE WITH THE APPROVED AIR BARRIER PRODUCT AND SHALL BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND ALL LINE VOLTAGE WIRING AND CONDUIT TO OH DOOR OPERATORS. THE HAND-OFF-AUTO SWITCH, PUSH BUTTON CONTROL STATION (MOMENTARY UP-STOP-DOWN) AND CONTROLLER IS FURNISHED BY THE OVERHEAD DOOR MANUFACTURER AND INSTALLED BY THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR IS TO PROVIDE CONDUIT AND WIRING BETWEEN THE HAND-OFF-AUTO SWITCH, THE PUSH BUTTON CONTROL STATION AND CONTROLLER PER OVERHEAD DOOR MANUFACTURER REQUIREMENTS. FURNISHING AND INSTALLATION OF THE MOTOR UNIT, OPTICAL SENSORS, PNEUMATIC DOOR SAFETY BOTTOM, LOW VOLTAGE WIRING AND ALL OTHER ACCESSORIES ASSOCIATED WITH THE OVERHEAD DOORS SHALL BE THE RESPONSIBILITY OF THE OVERHEAD DOOR CONTRACTOR.
- ALL STRUCTURAL ELEMENTS WHICH PASS IN FRONT OF WINDOWS / CLERESTORIES SHALL BE BACK PAINTED.
- ALL STRUCTURAL ELEMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR INFORMATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF STRUCTURAL ELEMENTS.
- THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL FRAMING AND OR BLOCKING AS NECESSARY TO SUPPORT ALL EXTERIOR WALL MOUNTED ELEMENTS.
- ALL OPENINGS IN EXTERIOR WALLS FOR PLUMBING, FIRE PROTECTION, MECHANICAL, AND ELECTRICAL / FIRE ALARM SYSTEMS SHALL BE SEALED WEATHER-TIGHT BY THE CONTRACTOR. CONTRACTOR TO PROVIDE FIRE RATED SEALANTS AS REQUIRED AT FIRE RATED WALL, FLOOR, CEILING, AND ROOF ASSEMBLIES.
- THE CONTRACTOR IS TO FIELD MEASURE OH DOOR OPENINGS TO ENSURE PROPER FIT OF OH DOORS.
- ALL EXPOSED SURFACES (INCLUDING, BUT NOT LIMITED TO: WALLS, UNDERSIDE OF EXPOSED ROOF AND FLOOR DECK, STRUCTURAL STEEL, MISCELLANEOUS METALS, DOORS/FRAMES, DUCTWORK, CONDUIT, AND PIPING) SHALL BE PRIMED AND PAINTED.
- BLOCKING SHALL BE PROVIDED FOR ALL WALL MOUNTED EQUIPMENT (INCLUDING, BUT NOT LIMITED TO: PLUMBING FIXTURES, TOILET ACCESSORIES, UTILITY SINKS, FIRE EXTINGUISHER CABINETS, SHELVING, COUNTERS, CASEWORK, CABINETS, MEDIA EQUIPMENT, AND WINDOW TREATMENTS); PROVIDE ADDITIONAL METAL STUD FRAMING AS REQUIRED TO SUPPORT BLOCKING.
- THE AIR BARRIER MEMBRANE (ABM) SHALL BE CONTINUOUS THROUGH THE BUILDING ENVELOPE AND BETWEEN THE WALL AND ROOF SYSTEMS INSTALLED ON THE WINTER WARM SIDE OF THE INSULATION. OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH SEALANT MATERIALS OR CLOSED WITH GASKETING SYSTEMS WHICH IS COMPATIBLE WITH THE ABM SYSTEM AND MEETS THE PERFORMANCE REQUIREMENTS IN THE SPEC. SYSTEM SHALL BE COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEAMS SHALL BE SEALED IN THE SAME MANNER OR TAPED OR COVERED WITH A MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL. SEALING MATERIALS SPANNING JOINTS BETWEEN CONSTRUCTION MATERIALS SHALL ALLOW FOR EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AT ALL OH DOOR JAMBS AND HEADERS, THE ABM SHALL TERMINATE AT THE STEEL FACE WHERE THE INSULATION ABUTS STEEL FRAMED OPENINGS. TERMINATE ABM ON THE INSIDE FACE OF EXTERIOR WALL SYSTEM AT DOORS, WINDOWS, LOUVERS, AND CLERESTORIES. THE TERMS VAPOR RETARDER, AND AIR MOISTURE BARRIER ARE SYNONYMOUS WITH ABM.
- METAL BUILDING SYSTEM SHALL BE A SINGLE SOURCE MANUFACTURED SYSTEM. ALL ACCESSORIES, NOT LIMITED TO: PRIMARY FRAMING, WALLS, ROOF INSULATION, EXTRUSIONS, TRIMS, FASTENERS, GASKETS, SUBGIRT FRAMING, ECT SHALL BE PROVIDED BY THE METAL BUILDING SYSTEM MANUFACTURER. METAL WALL PANEL COLOR TO BE SELECTED BY THE DESIGNER FROM THE MANUFACTURER'S STANDARD COLOR SELECTION WITH FINISH PROTECTIONS AS SPECIFIED.
- ALL WALL/PARAPET FLASHING SHALL TERMINATE WITH A MINIMUM 8" VERTICAL LEG TO ALLOW FOR PROPER INTERFACE WITH THE ABM. ABM SHALL BE INSTALLED BEHIND FLASHING AND THE FLASHING SHALL BE INTEGRATED INTO THE ABM SYSTEM USING A SELF-ADHERED MEMBRANE FLASHING WITH MINIMUM OVERLAP REQUIREMENTS PER MANUFACTURER.
- ALL EXTERIOR AND INTERIOR MATERIAL SURFACE COLOR AND TEXTURES SHALL BE SELECTED BY THE DESIGNER FROM THE MANUFACTURER'S STANDARD & PREMIUM FINISH / COLOR SELECTIONS. ONCE ALL COLORS HAVE BEEN SUBMITTED, THE OWNER WILL REVIEW AND PROVIDE GUIDANCE ON COLORS FOR INCLUSION IN THE MOCK-UP REFERENCED IN DIVISION 1 OF THE SPECIFICATIONS.
- DETAILS AND NOTES SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE ARCHITECTURAL WORK EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY THE CONTRACT DOCUMENTS. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR LIKE CONDITIONS AS DETERMINED BY THE DESIGNER.
- PROVIDE ALL ACCESSIBLE FIXTURES, CONTROLS & ACCESSORIES, AND APPROPRIATE CLEARANCES, AS REQUIRED FOR COMPLIANCE W/ STATE BUILDING CODE W/ ALL AMENDMENTS, TYP.
- SEALANT DEPTH AT ALL EXTERIOR OPENINGS SHALL BE EQUAL TO THE WIDTH OF THE JOINT.
- THE CONTRACTOR TO PROVIDE CANE PROTECTION AT ALL PANELS IN EGRESS PATHS (AS DETERMINED BY DESIGNER) WHICH EXTEND 4" OR MORE FROM FACE OF WALL AND ARE GREATER THAN 27" ABOVE FINISHED FLOOR.
- FOR SITE LEGEND REFER TO DRAWING SERIES CX.00.
- FOR STRUCTURAL LEGEND REFER TO DRAWING SERIES SX.00.
- FOR WALL TYPES, REFER TO DRAWING SERIES AX.00.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF METAL STUD, AND TO THE CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED.
- FOR CEILING LEGEND AND SOFFIT DETAILS REFER TO DRAWING SERIES AX.00.
- FOR ROOF DETAILS, REFER TO DRAWING SERIES AX.00.
- FOR LARGE SCALE TOILET AND STAIR PLANS, REFER TO DRAWING SERIES AX.00.
- FOR DOOR NUMBERS AND DETAILS, REFER TO DRAWING SERIES AX.00.
- FOR INTERIOR ELEVATIONS, REFER TO DRAWING SERIES AX.00.
- FOR CASEWORK ELEVATIONS, REFER TO DRAWING SERIES AX.00.
- FOR FINISH SCHEDULE, REFER TO DRAWING SERIES AX.00.
- FOR PLUMBING LEGEND, REFER TO DRAWING SERIES PX.00.
- FOR FIRE PROTECTION LEGEND, REFER TO DRAWING SERIES FPX.00.
- FOR MECHANICAL LEGEND, REFER TO DRAWING SERIES MX.00.
- FOR ELECTRICAL LEGEND, REFER TO DRAWING SERIES EX.00.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- SIGNAGE TO BE MOUNTED ON THE WALL, ADJACENT TO THE LEVER SIDE OF THE DOOR, AT A HEIGHT OF FIVE (5) FEET A.F.F. REFER TO THE FLOOR PLANS FOR LOCATIONS OF DIRECTIONAL SIGNAGE.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF THE SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- GENERAL CONTRACTOR TO PROVIDE EXCAVATION & TRENCHING AT ALL UNDERGROUND UTILITIES IN EXISTING AND NEW BUILDINGS AS REQUIRED FOR MEP/FP UTILITIES AND COORDINATION. REFER TO MEP / FP DRAWINGS FOR OVERALL REQUIREMENTS. GENERAL CONTRACTOR TO COORDINATE INVERTS AND COMPACT ALL MATERIALS FOR PLACEMENT OF CONCRETE SLAB INFILL IN ACCORDANCE WITH ASTM D1567. GC TO PROVIDE SOIL COMPACTION, DOWELS, WWF MESH, VAPOR RETARDER AND TIE-INS. CONCRETE PLACEMENT AND ALL REQUIREMENTS TO CLOSE UP TRENCH ONCE MEP/FP SUB-TRADE WORK IS COMPLETE.
- ISSUE AN ACCENT WALL AT ALL ROOMS. ARCHITECT / ENGINEER TO PROVIDE LOCATION DURING CONSTRUCTION FOR ACCENT WALL. IF NOT IDENTIFIED ON PROJECT PLANS.

TYPICAL DEVICE MOUNTING HEIGHTS

- ELECTRICAL EQUIPMENT MOUNTING HEIGHT DIMENSIONS ARE TO CENTER OF DEVICE UNLESS OTHERWISE NOTED:
- RECEPTACLES: 18" A.F.F. AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF MOUNT AT 24" A.F.F.
  - EXTERIOR RECEPTACLES: 24" A.F.F.
  - SWITCHES: 48" A.F.F.
  - BOILER EMERGENCY SWITCH: 60" A.F.F.
  - DATA/PHONE OUTLETS: 18" A.F.F.
  - WALL MOUNTED CLOCKS AND SPEAKERS: COORDINATE LOCATION ABOVE DOOR WITH CEILING HEIGHT. IF THE CLOCK AND SPEAKER DO NOT FIT, PLACE AT 7'-6" A.F.F. NEXT TO DOOR. COORDINATE WITH BLOCK COURSING AS OCCURS. CONSULT DESIGNER IF CONDITIONS DIFFER.
  - FIRE ALARM PULL STATIONS: 48" A.F.F.
  - AREA OF REFUGE CALL STATION: 48" A.F.F.
  - EMERGENCY SHUT-OFF SWITCH/PUSH BUTTON: 48" A.F.F.
  - EMERGENCY CALL SWITCH: 36" A.F.F.
  - EMERGENCY CALL BELL/LIGHT: 7'-8" A.F.F.
  - FIRE ALARM VISUAL/AUDIO INDICATING UNITS: 6'-8" TO BOTTOM OF DEVICE.
  - WALL MOUNTED EXIT SIGNS: 8" ABOVE DOOR OR 7'-6" A.F.F.
  - EMERGENCY CALL SYSTEM FOR TOILET ROOMS: LOCATE ALARM PULL SWITCH WITHIN 3' OF WATERCLOSET. EXTEND PULL CORD TO WITHIN 12" OF THE FLOOR.
- DOOR HARDWARE MOUNTING HEIGHT DIMENSIONS ARE TO CENTER OF HARDWARE:
- PULL: 42"
  - PUSH PLATE: 45"

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA

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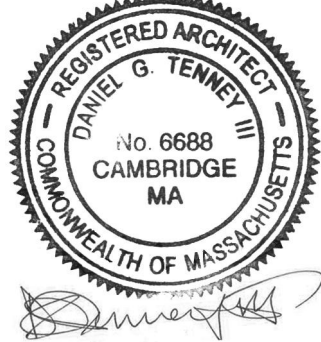
www.westonandsampson.com

Consultants:

Revisions:

No.	Date	Description

Seal:

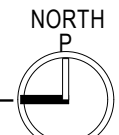


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Scale: As indicated

Key Plan:



Date: 11/14/2023

Drawn By: MMF

Reviewed By: BPM

Approved By: JB

W&S Project No.: ENG21-1089

W&S File No.: TBD

Drawing Title:

GENERAL NOTES

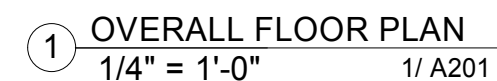
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A021



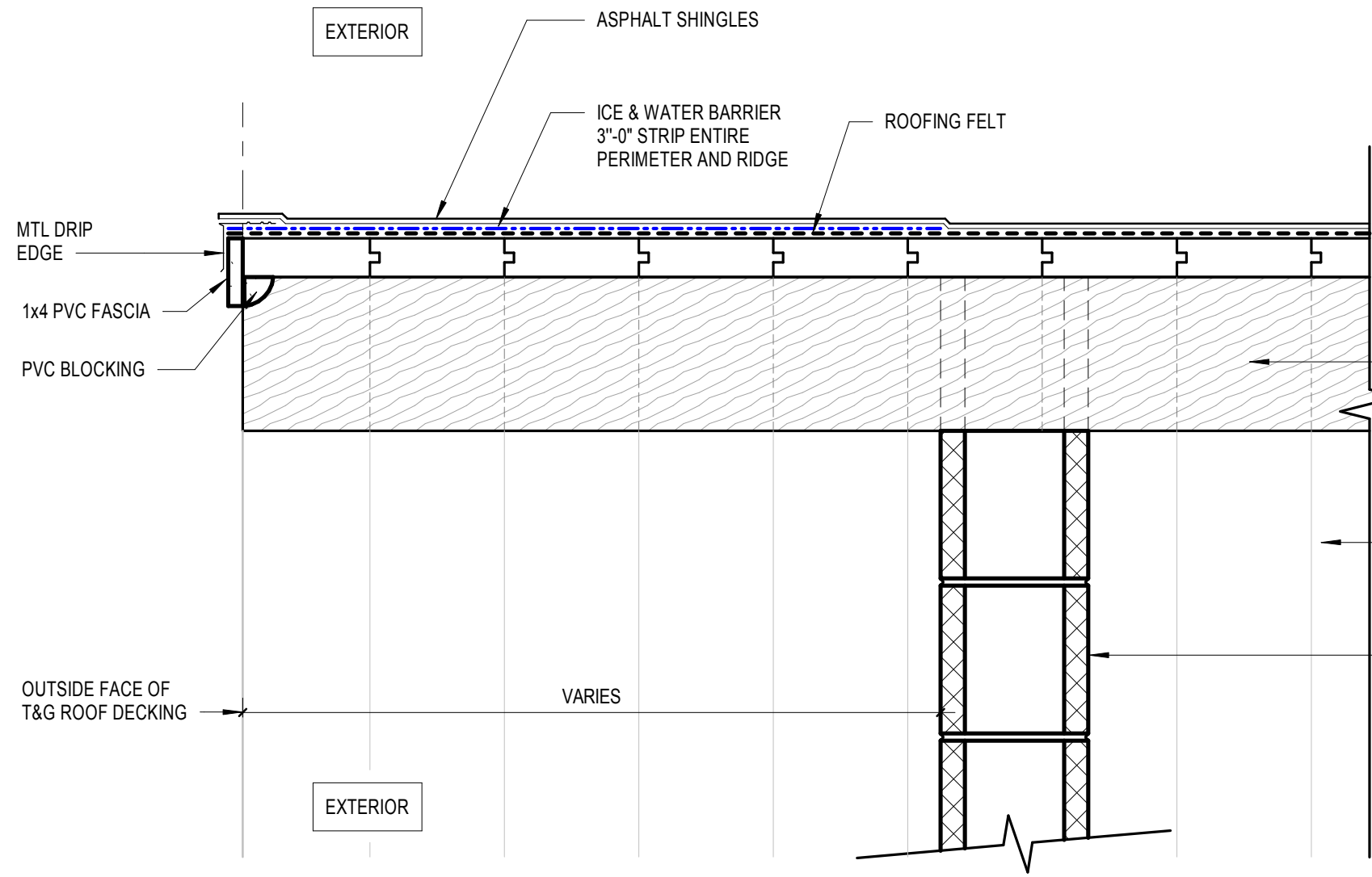
- ALL APPROACHES TO THE BUILDING NEED TO BE MA 521 CMR | ADA COMPLIANT
- PROVIDE POSITIVE MECHANICAL VENTILATION FOR ALL INTERIOR SPACES
- PROVIDE VENTILATION FOR DRYERS AND EXHAUST APPROPRIATELY
- COORDINATE WASHING MACHINE HOOK-UPS WITH WALLS AND EQUIPMENT

3. SEE SHEET A012 FOR PLUMBING FIXTURE SCHEDULE / MOUNTING HEIGHTS.

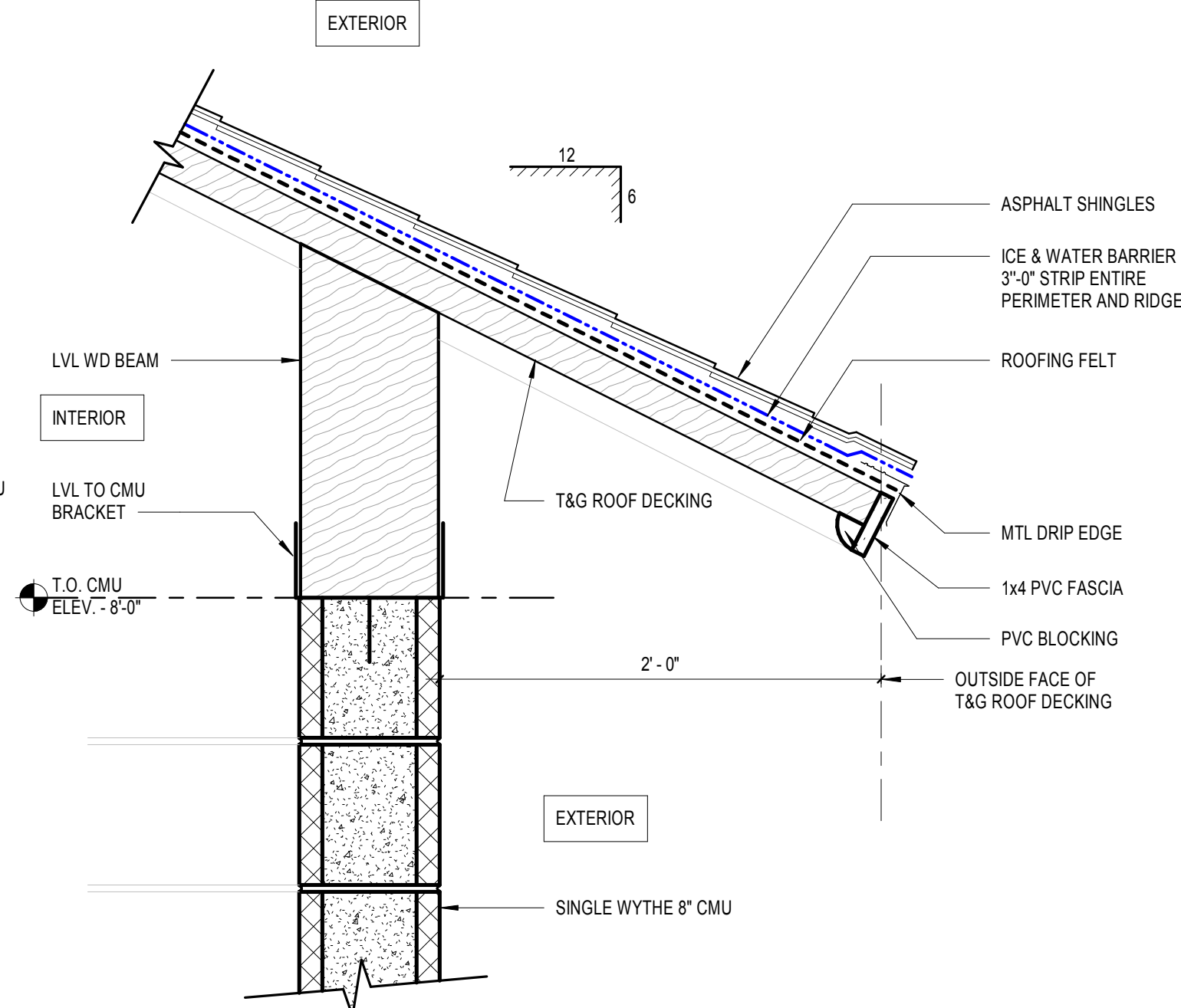


# A101

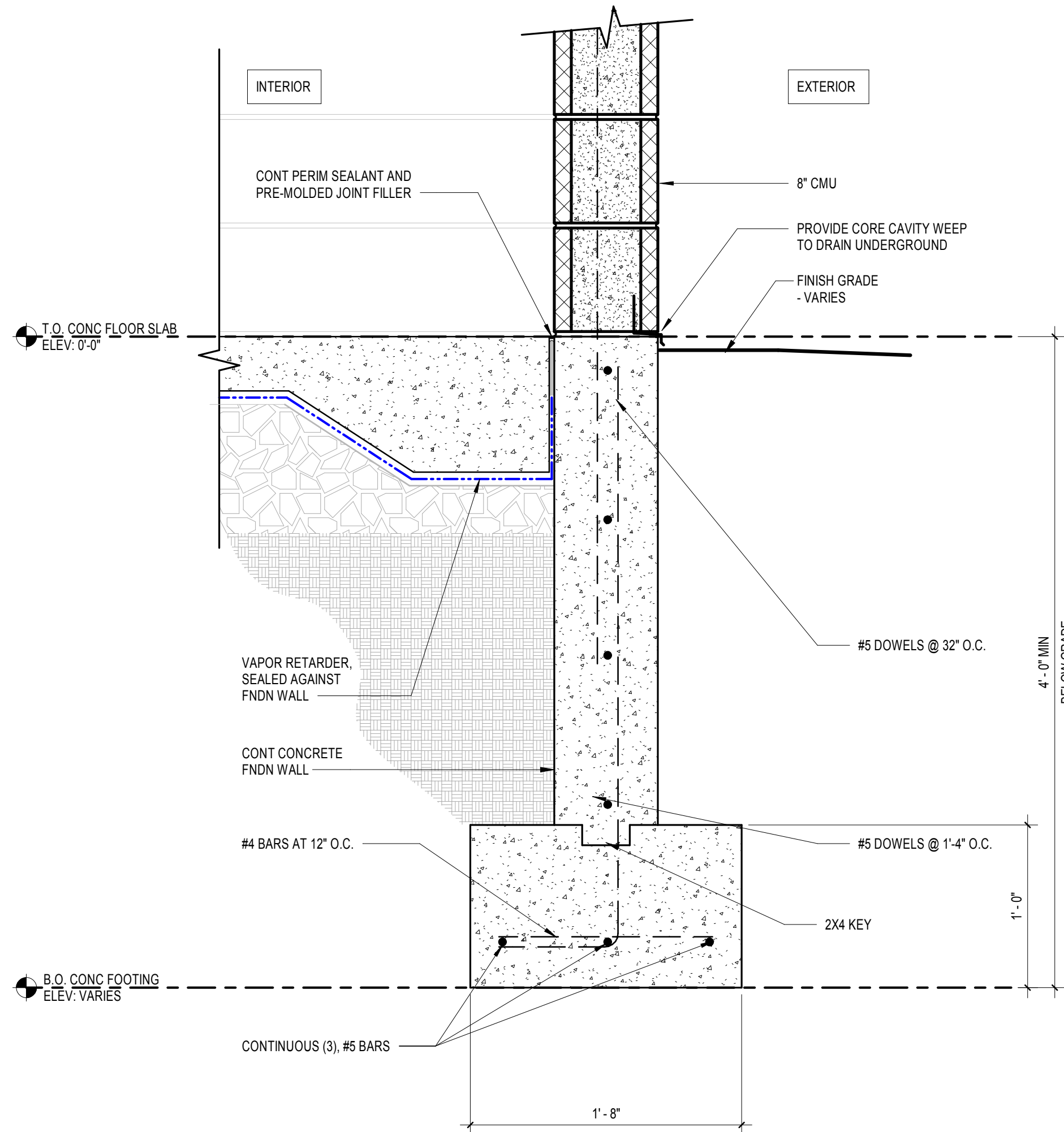
11/10/2023 11:42:01 AM C:\Users\grover.donald\OneDrive - WESTON & SAMPSON ENGINEERS, Inc\Documents\North Truro - Comfort Station Adv Bound\_ARCH V22\_Grover.Donald.rvt



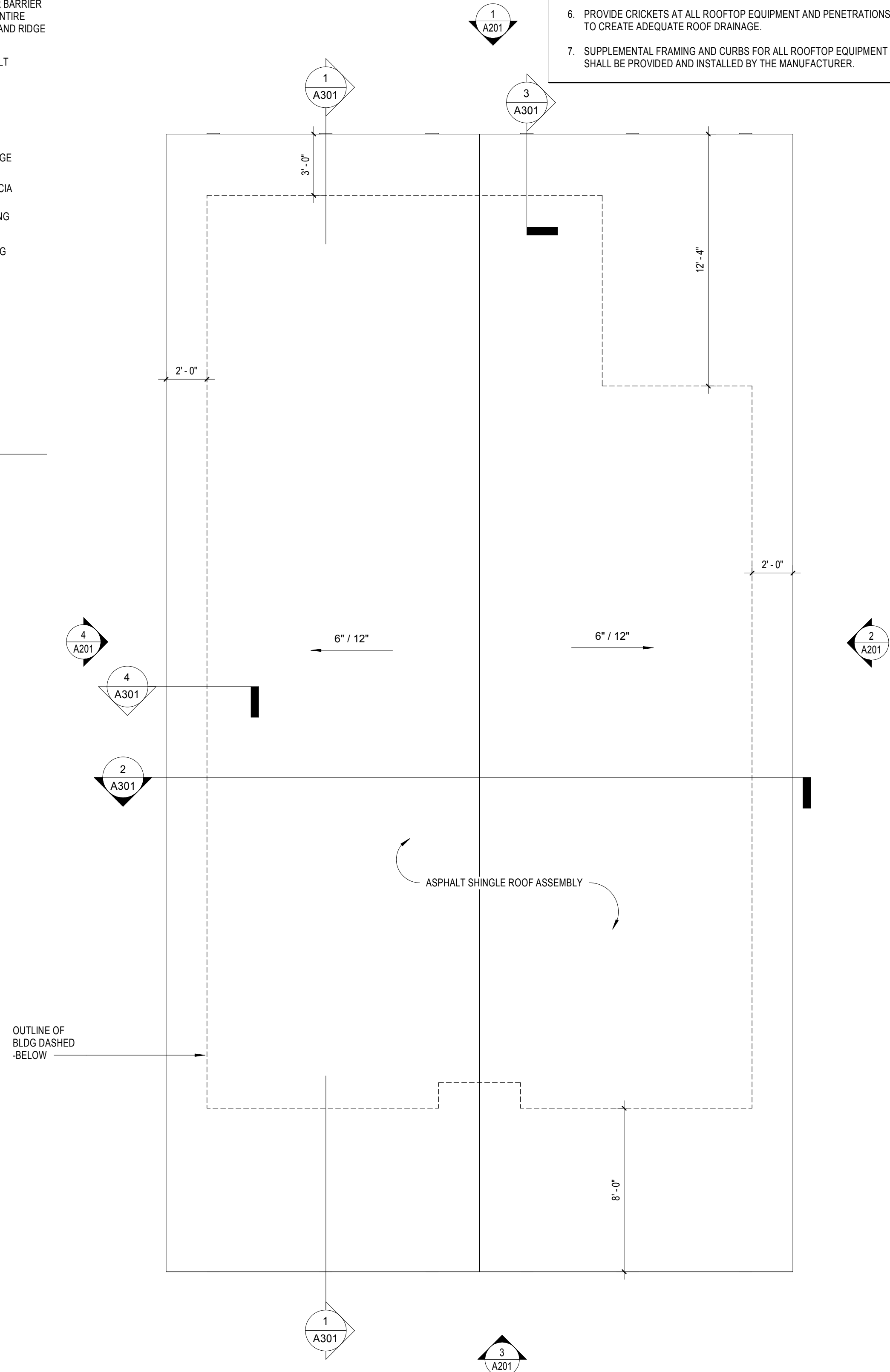
3 RAKE DETAIL  
1 1/2" = 1'-0"



2 EAVE DETAIL  
1 1/2" = 1'-0"



4 BASE OF WALL DETAIL - TYPICAL  
1 1/2" = 1'-0"



1 ROOF PLAN  
1/4" = 1'-0"

### GENERAL ROOF NOTES

1. REFER TO EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT NOT SHOWN. ANY DISCREPANCIES REGARDING LOCATION OF EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION IN FIELD.
2. ROOF SLOPE = 0'-8" : 12'-0"
3. SEE GENERAL NOTES ON A012
4. ROOF PENETRATIONS TO BE CUT AND FLASHED BY THE MANUFACTURER
5. PROVIDE ROOF FLASHING AT ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO VENT STACKS, FLUES, AND EXHAUST FANS. REVIEW PLUMBING, EQUIPMENT, MECHANICAL, AND ELECTRICAL DRAWINGS FOR CONSTRUCTION NOT INDICATED ON THIS DRAWING.
6. PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT AND PENETRATIONS TO CREATE ADEQUATE ROOF DRAINAGE.
7. SUPPLEMENTAL FRAMING AND CURBS FOR ALL ROOFTOP EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE MANUFACTURER.

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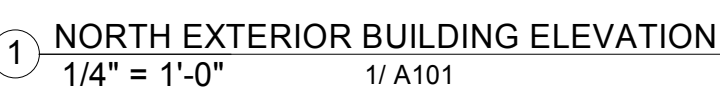
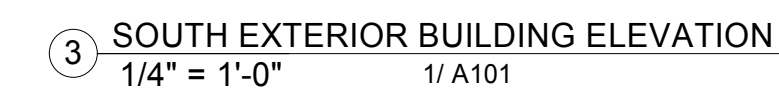
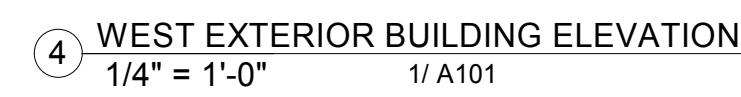


Date: 11/14/2023  
Drawn By: MMF  
Reviewed By: BPM  
Approved By: JB  
W&S Project No.: ENG21-1089  
W&S File No.: TBD

Drawing Title:  
OVERALL ROOF PLAN & DETAILS

Sheet Number:  
A103

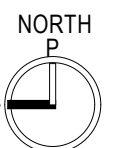


[illegible]

REGISTERED ARCHITECT  
DANIEL G. TENNEY III  
No. 6688  
CAMBRIDGE  
MA  
COMMONWEALTH OF MASSACHUSETTS

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Scale: 1/4" = 1'-0"



Date:	11/14/2023
Drawn By:	MMF
Reviewed By:	BPM
Approved By:	JB
<hr/>	
W&S Project No.:	ENG21-1089
W&S File No.:	TBD

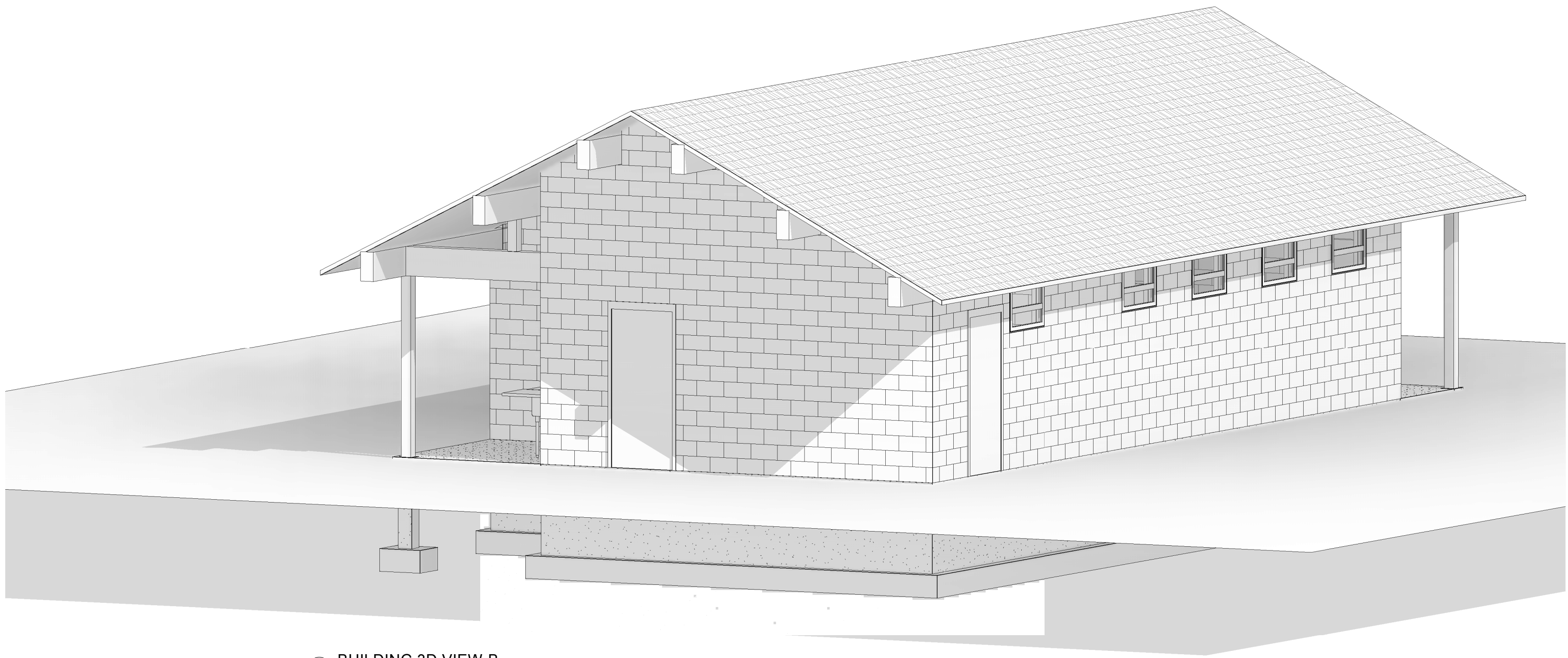
Drawing Title:

## OVERALL ELEVATIONS

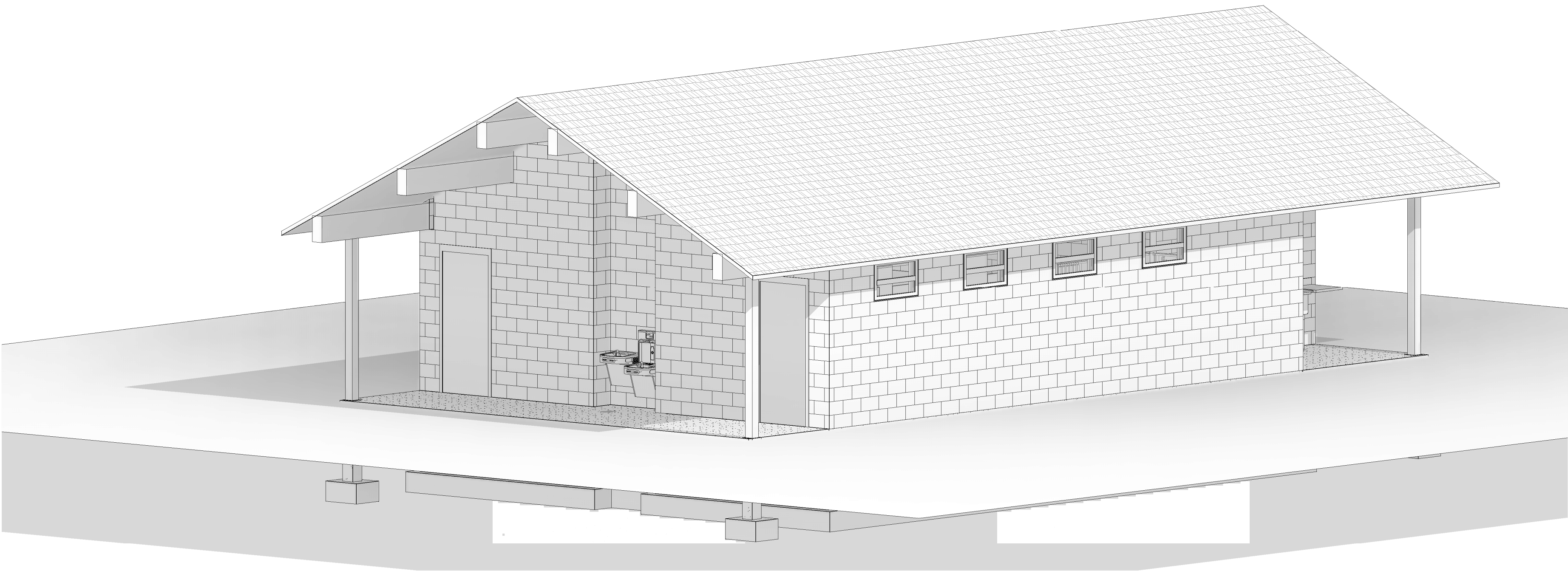
Sheet Number:

# A201





2 BUILDING 3D VIEW B



1 BUILDING 3D VIEW A

**NOTE:** 3D VIEWS ARE PROVIDED FOR REFERENCE ONLY. REFER TO PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES FOR BUILDING REQUIREMENTS.

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Seal:

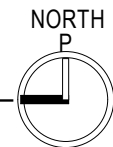


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Scale: 1/8" = 1'-0"

Key Plan:



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Drawn By: MMF  
Reviewed By: BPM  
Approved By: JB  
W&S Project No.: ENG21-1089  
W&S File No.: TBD

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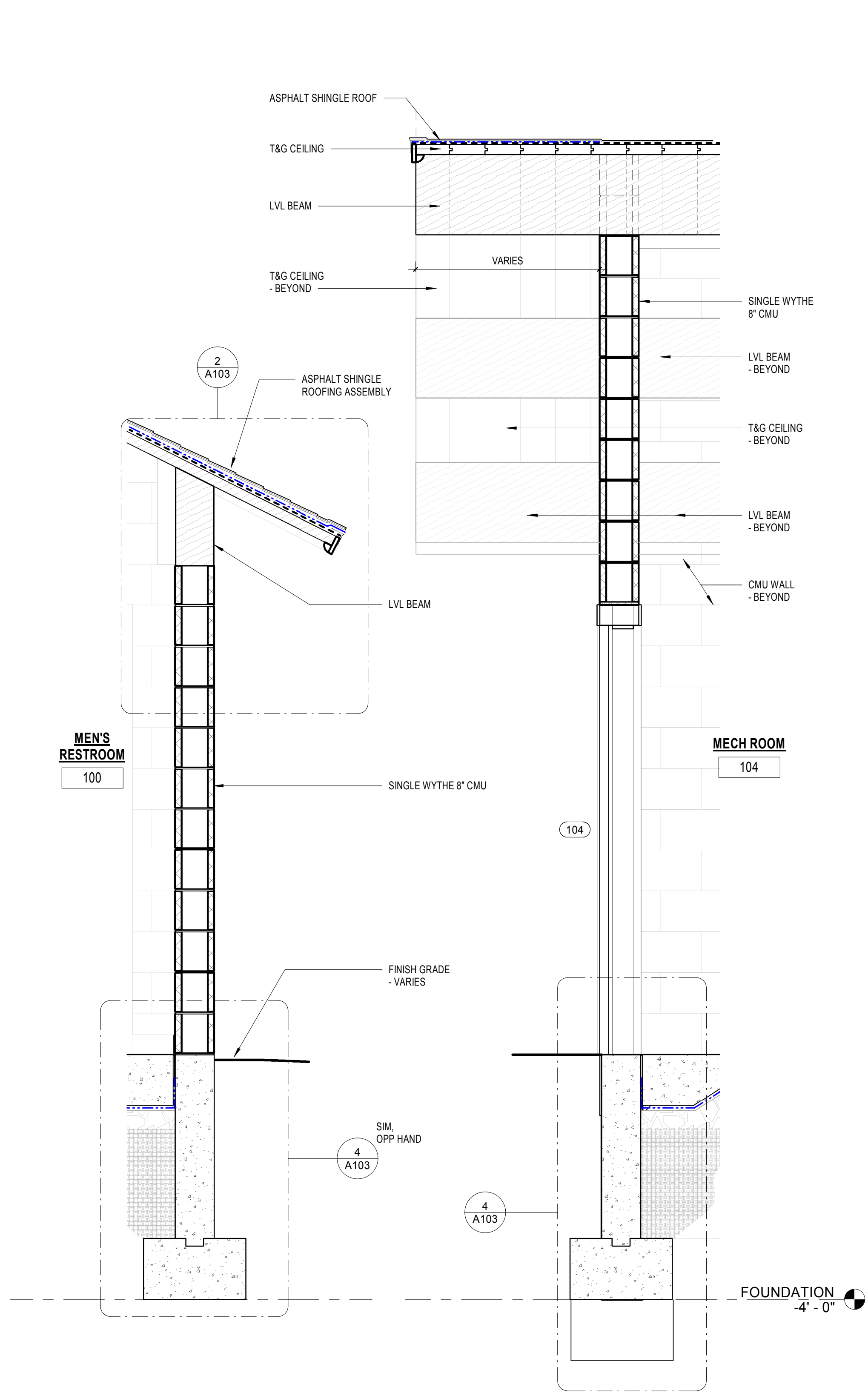
3D VIEWS

Sheet Number:

A231

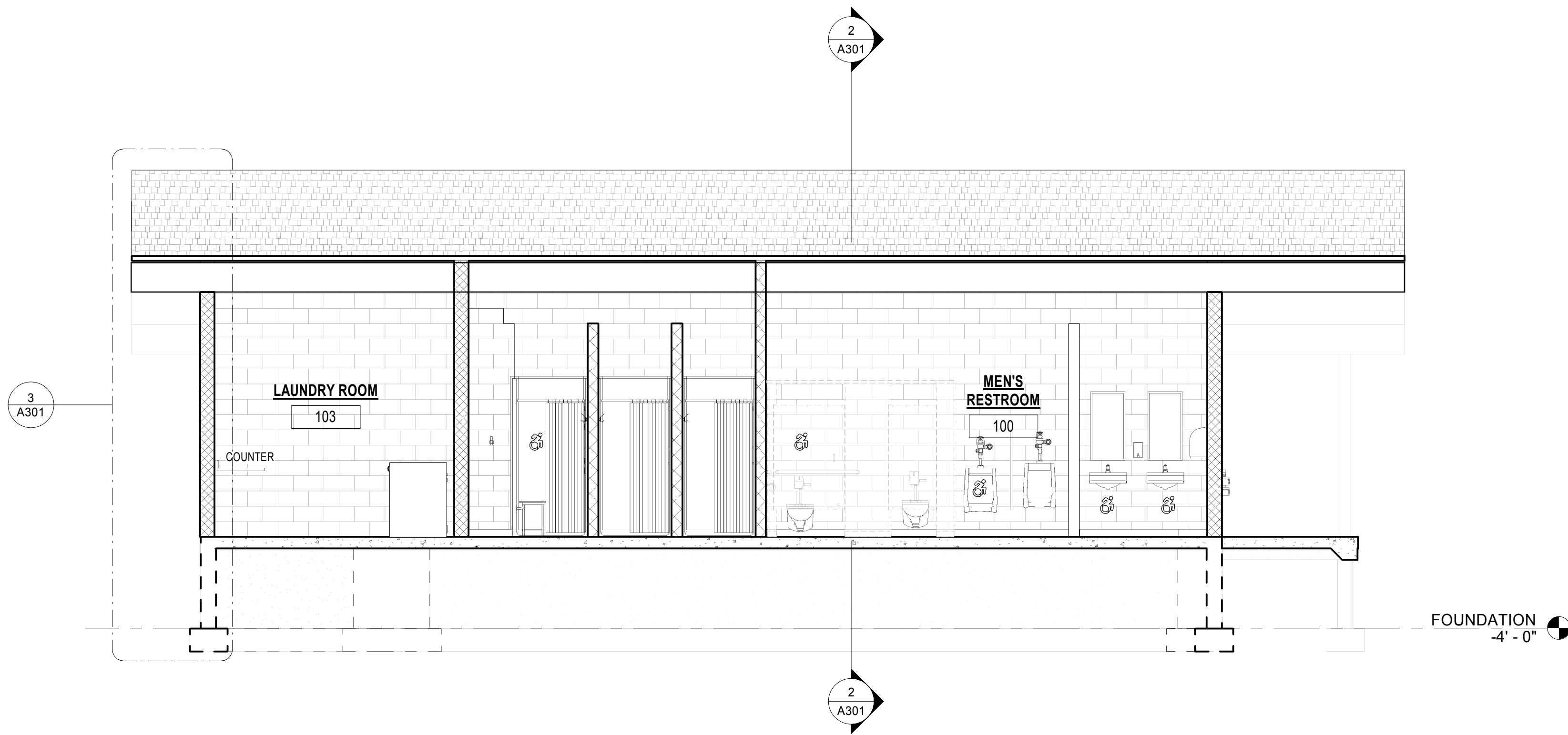


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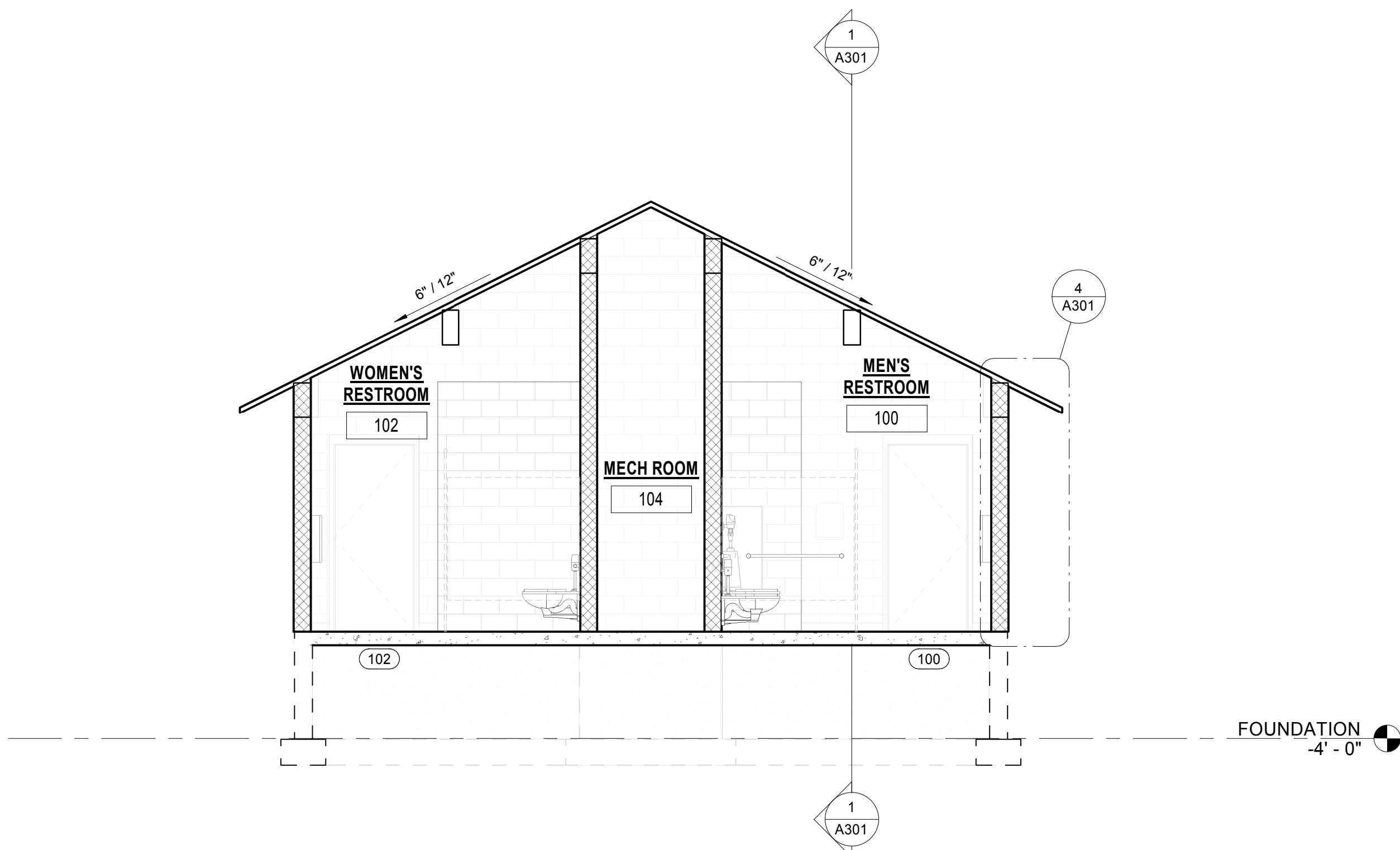


4 BUILDING WALL SECTION B  
3/4" = 1'-0" 1/ A101

3 BUILDING WALL SECTION A  
3/4" = 1'-0" 1/ A101



1 BUILDING SECTION A  
1/4" = 1'-0" 1/ A101



2 BUILDING SECTION B  
1/4" = 1'-0" 1/ A101

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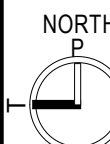


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Key Plan:



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Approved By: JB

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W&S File No.: TBD

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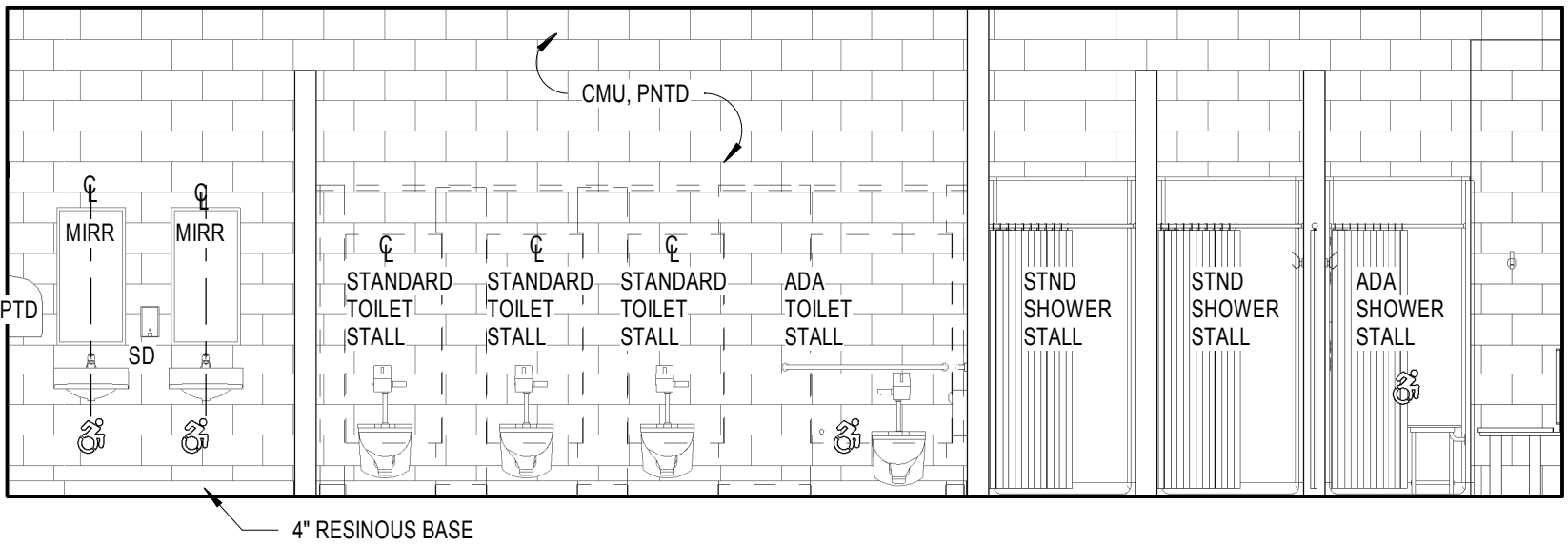
BUILDING & WALL SECTIONS

Sheet Number:

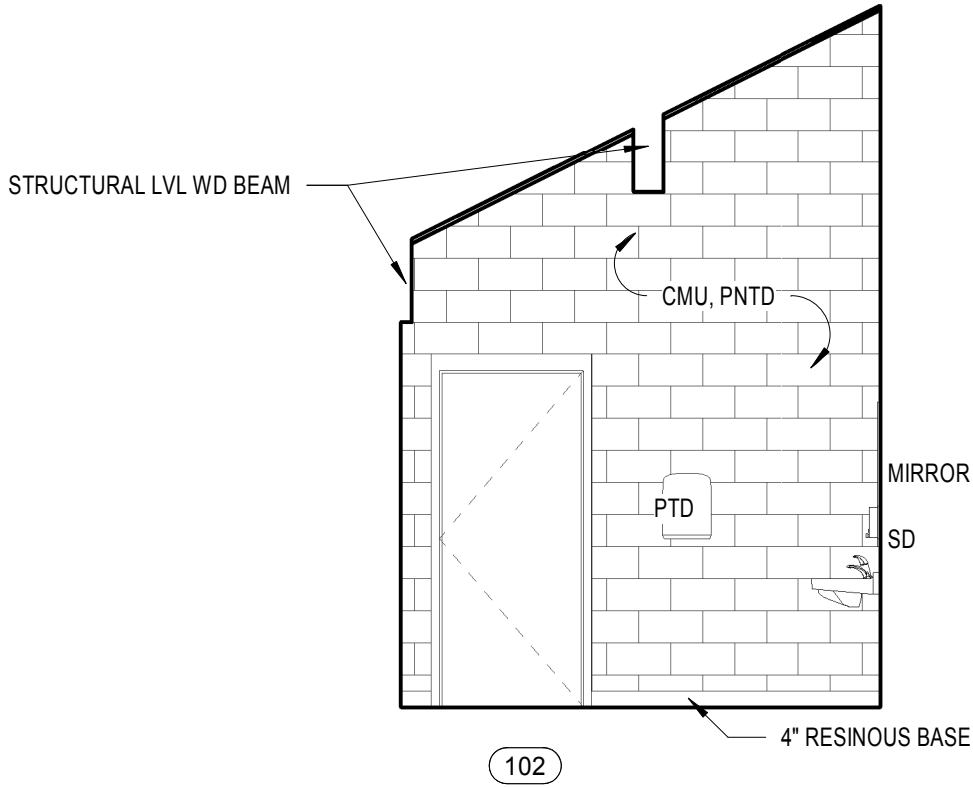
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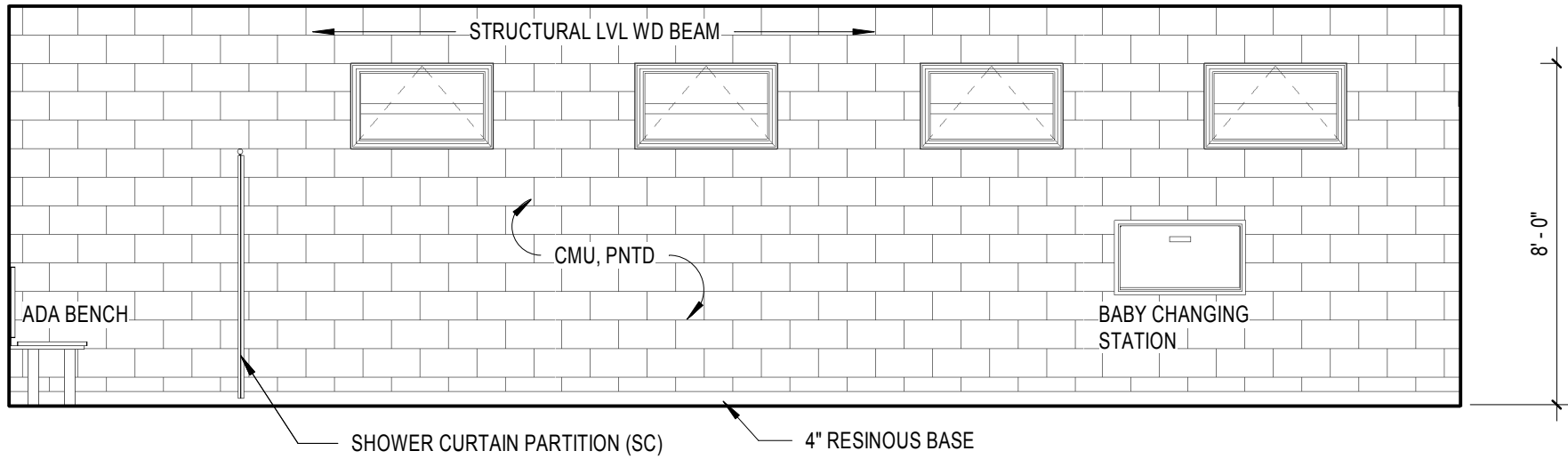
GENERAL NOTES:		TOILET ACCESSORY SCHEDULE - DIV 10	
1. PROVIDE BULLNOSE TOP COURSE AND CEMENTITIOUS TILE BACK BOARD / CEMENT BOARD AT ALL CERAMIC TILE LOCATIONS. TYPICAL INSTALLATION OF CERAMIC TILE OVER GYPSUM BOARD EXCEPT FOR A KITCHENETTE BACKSPASH IS NOT ACCEPTABLE.	MARK	DESCRIPTION	
	SD	SOAP DISPENSER	
	PTD	PAPER TOWEL DISPENSER	
	TTD	TOILET TISSUE DISPENSER	
2. PROVIDE CONT. BLOCKING AT SHELVING, ACCESS PANELS, DISPLAY MONITORS, MARKER BOARDS ETC. COORDINATE LOCATION IN FIELD.	TB	TRASH BARREL	
	MARK	DESCRIPTION	
	CH	COAT / ROBE HOOK	
	GB	GRAB BAR (DIMENSION PER PLANS)	
3. MOISTURE RESISTANT (MR) GYPSUM BOARD TO BE USED IN ALL TOILET ROOM / RESTROOM FACILITIES.	MIRR	MIRROR	
	SC	SHOWER CURTAIN	
	CR	CURTAIN ROD FOR SHOWER	
4. PROVIDE PVC SHIMS AS NECESSARY TO MAKE TOILET ROOM ACCESSORIES SUCH AS PTD'S, MIRRORS, SD'S, TOILET PARTITIONS, ETC..., FLUSH ON WALL OVER CERAMIC TILE WAINSCOT. SHIMS TO BE PAINTED BY PAINTING FSB. THICKNESS TO MATCH CERAMIC WALL TILE.			



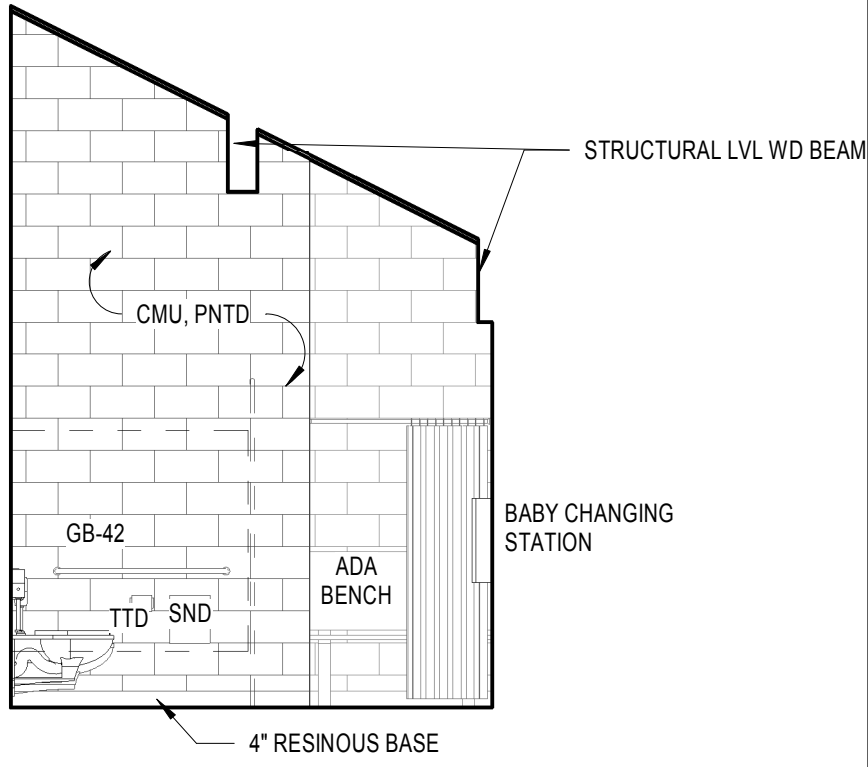
8 WOMEN'S WEST INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



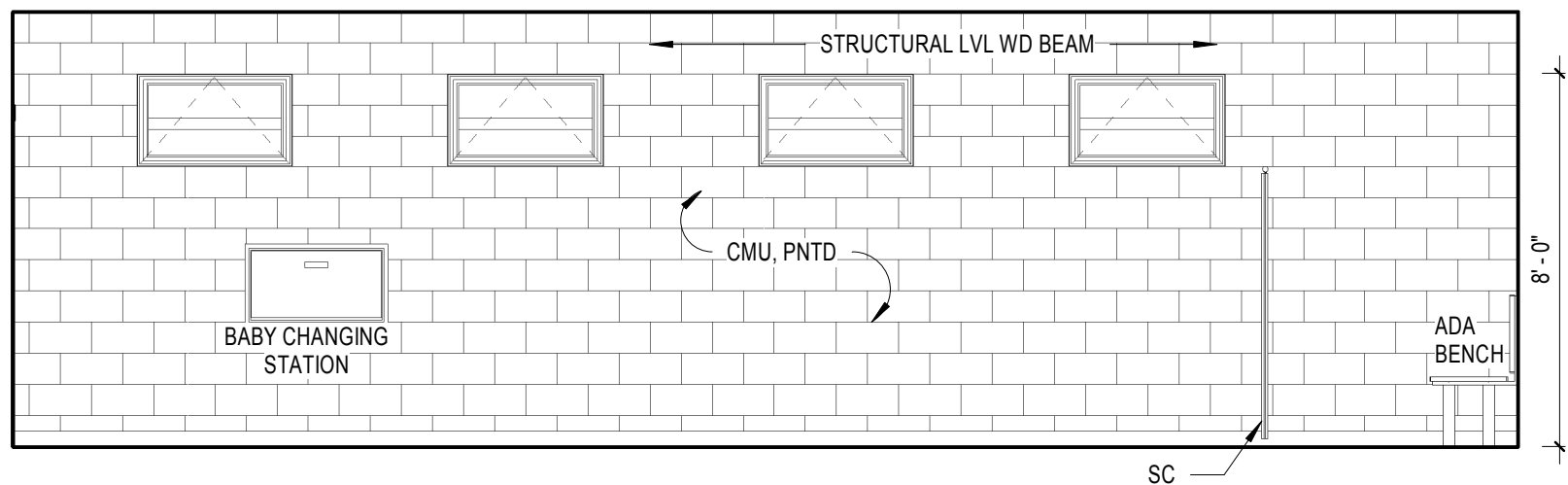
7 WOMEN'S SOUTH INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



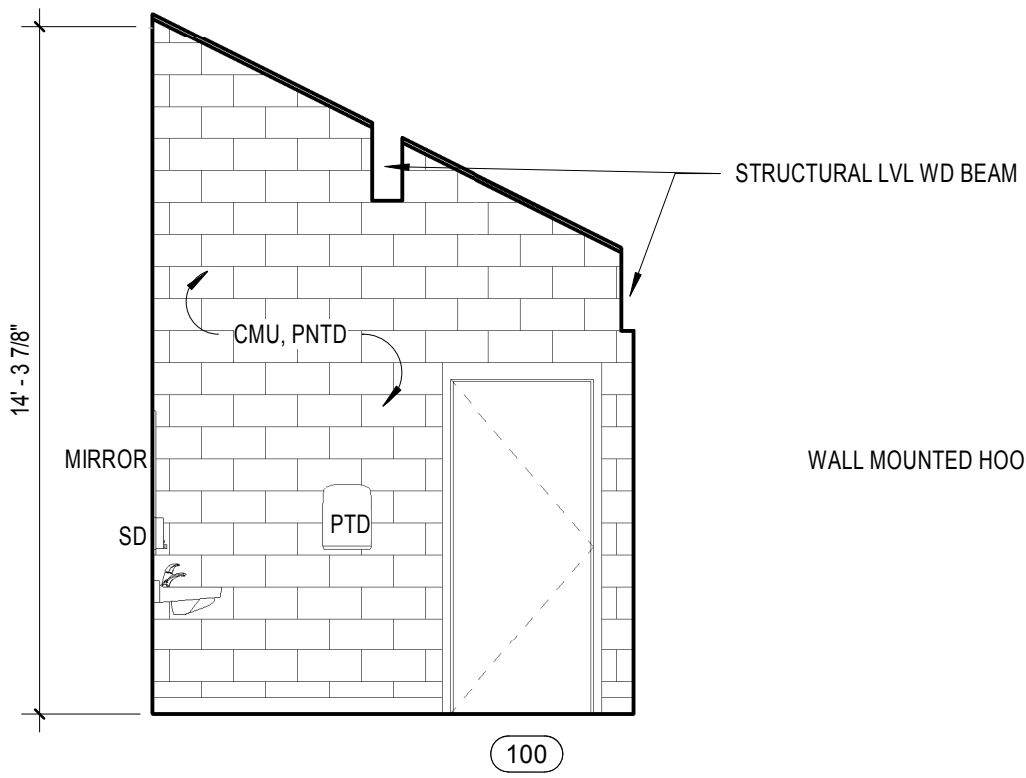
6 WOMEN'S EAST INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



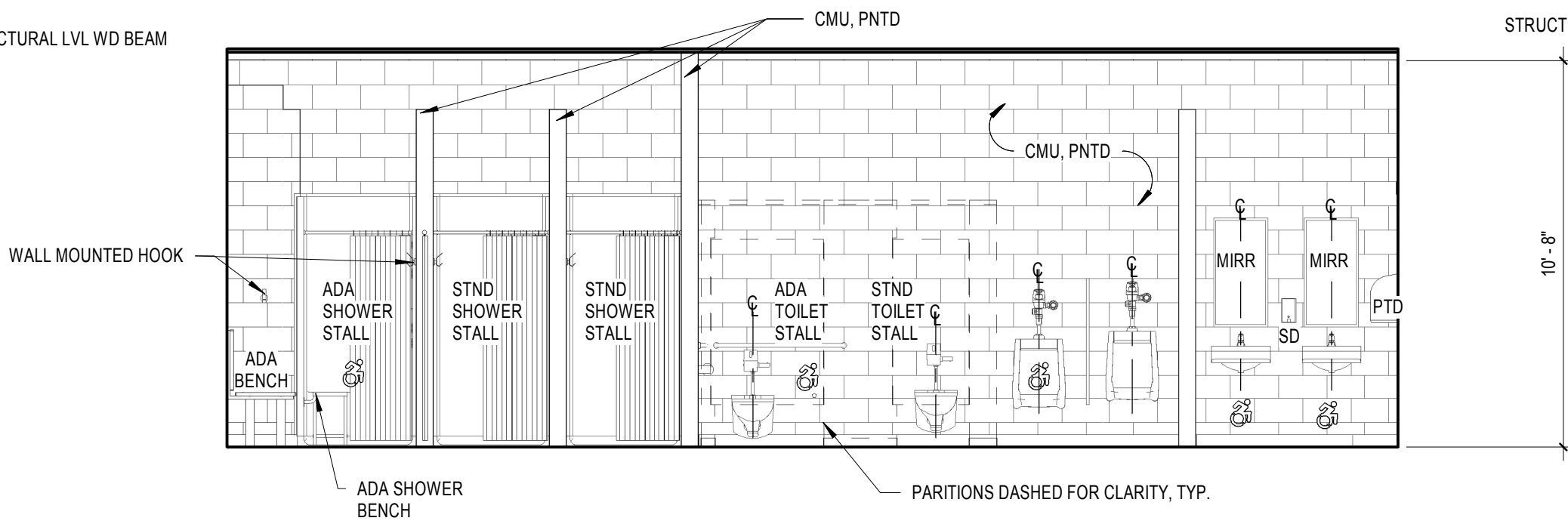
5 WOMEN'S NORTH INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



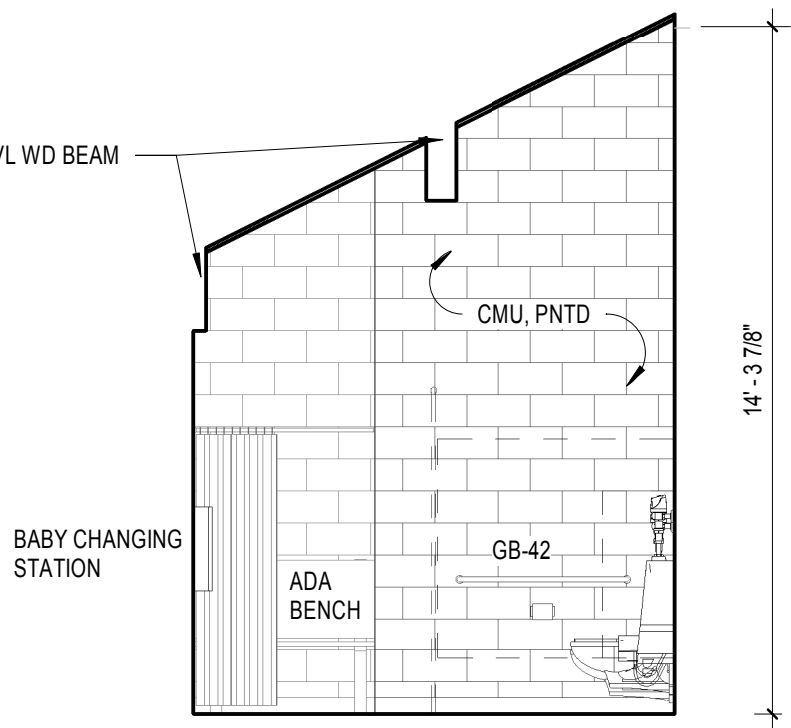
4 MEN'S WEST INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



3 MEN'S SOUTH INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



2 MEN'S EAST INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101



1 MEN'S NORTH INTERIOR ELEVATION  
1/4" = 1'-0" 1/ A101

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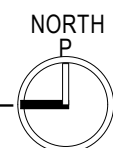


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INTERIOR ELEVATIONS

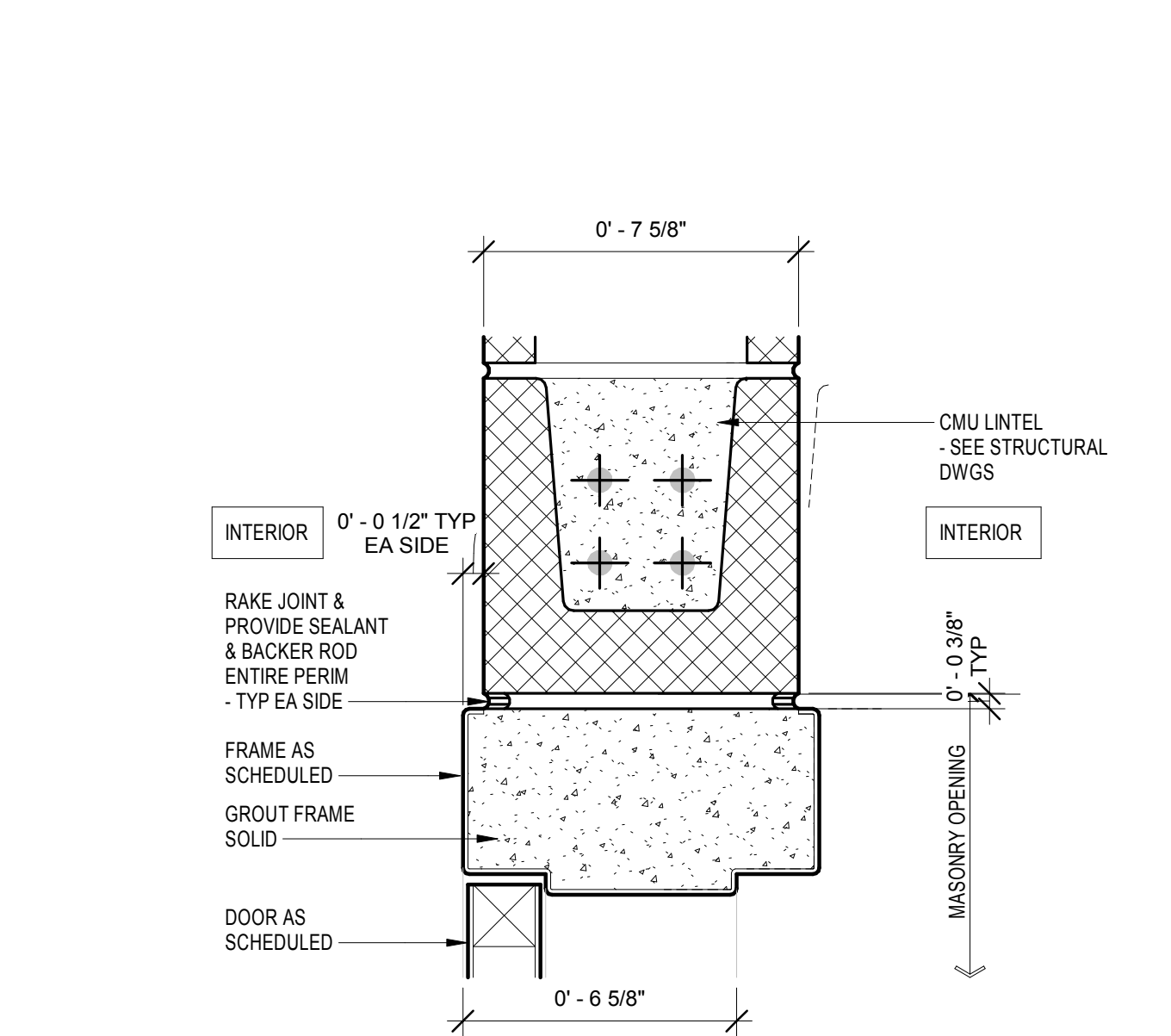
Sheet Number:

A701

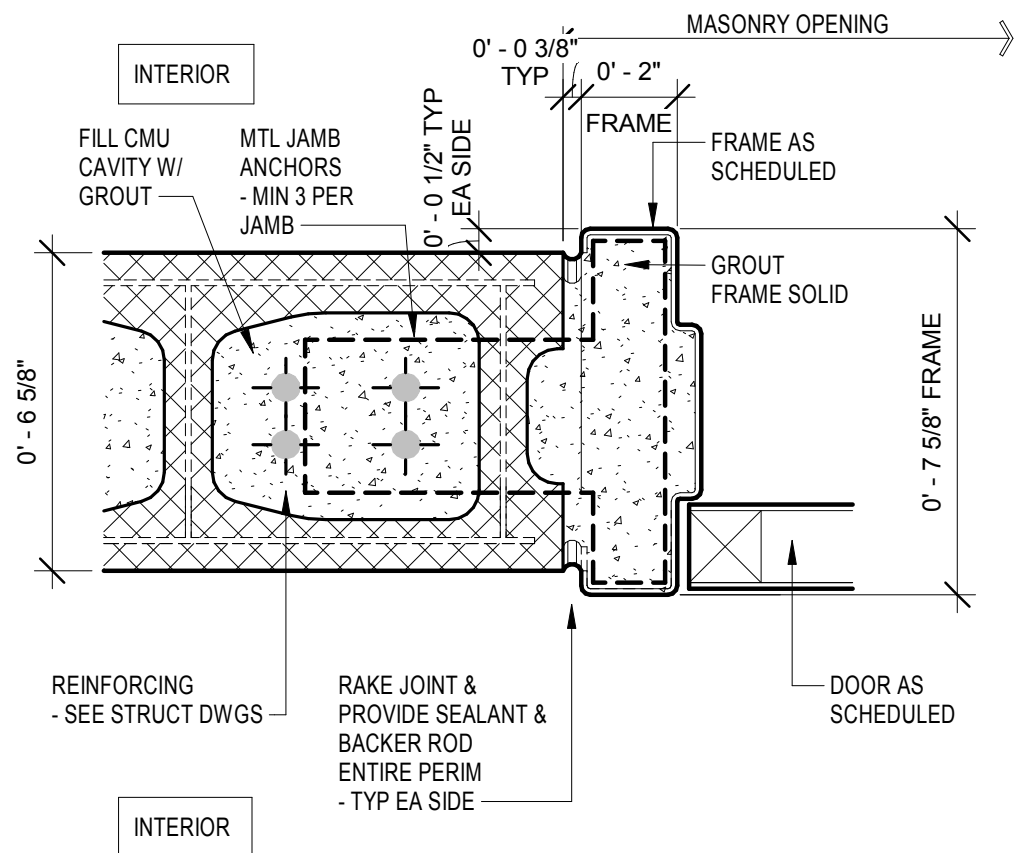


DOOR SCHEDULE													
DOOR #	DOOR				FRAMES		DETAILS			GLAZING TYPE	HDWR SET	DOOR CONTACT	REMARKS
	WIDTH	HEIGHT	TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB	SILL				
100	3' - 0"	7' - 0"											
102	3' - 0"	7' - 0"											
103	3' - 0"	7' - 0"											
104	3' - 0"	7' - 0"											

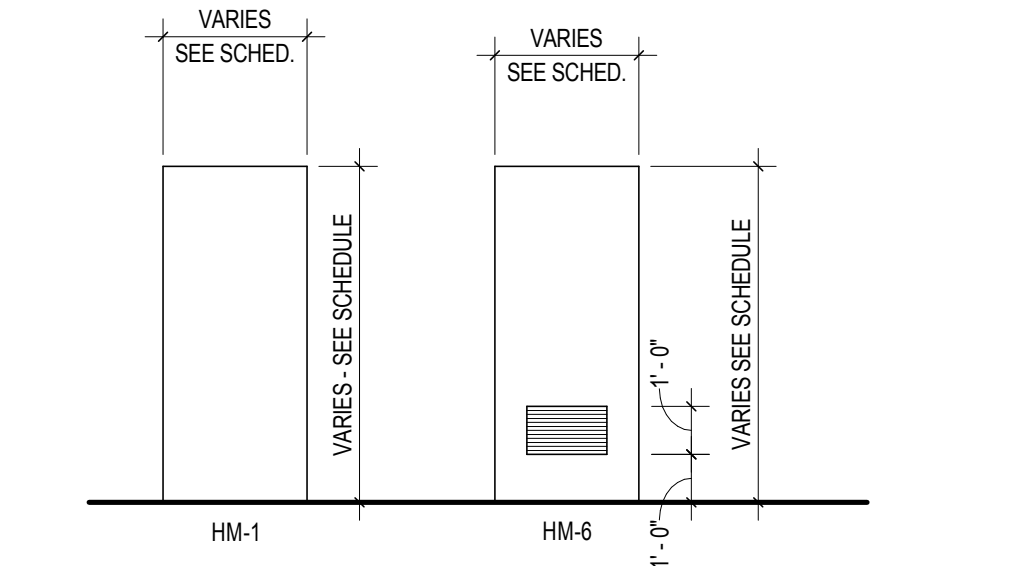
NON-STOREFRONT GLAZING SCHEDULE		
TYPE	DESCRIPTION	USE IN THESE LOCATIONS
1	1/4" CLEAR TEMPERED	ALL INTERIOR NON-FIRE RATED DOORS AND INTERIOR WINDOWS
2	1/4" CLEAR LAMINATED GLASS	AS INDICATED
3	5/16" - 3/8" CERAMIC FIRE RATED GLASS	ALL INTERIOR FIRE RATED DOORS & WINDOWS
4	1" CLEAR INSULATING TEMPERED GLASS	ALL EXTERIOR DOORS, CURTAIN WALL, STOREFRONT, & WINDOWS
5	1/4" TEMPERED FROSTED GLASS	AS INDICATED



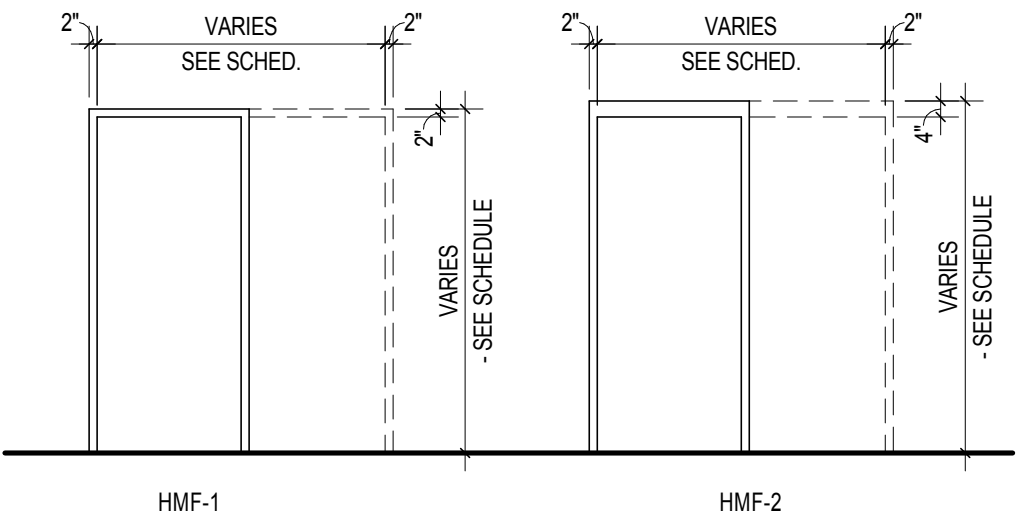
③ CMU DOOR HEAD DETAIL - GROUT FILLED FRAME, TYPICAL FRAME  
3" = 1'-0"



② CMU DOOR JAMB DETAIL - GROUT FILLED FRAME, TYPICAL FRAME  
3" = 1'-0"



HOLLOW METAL DOORS  
SCALE: 1/4" = 1'-0"



HOLLOW METAL FRAMES  
SCALE: 1/4" = 1'-0"

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W&S File No.: TBD

Drawing Title:

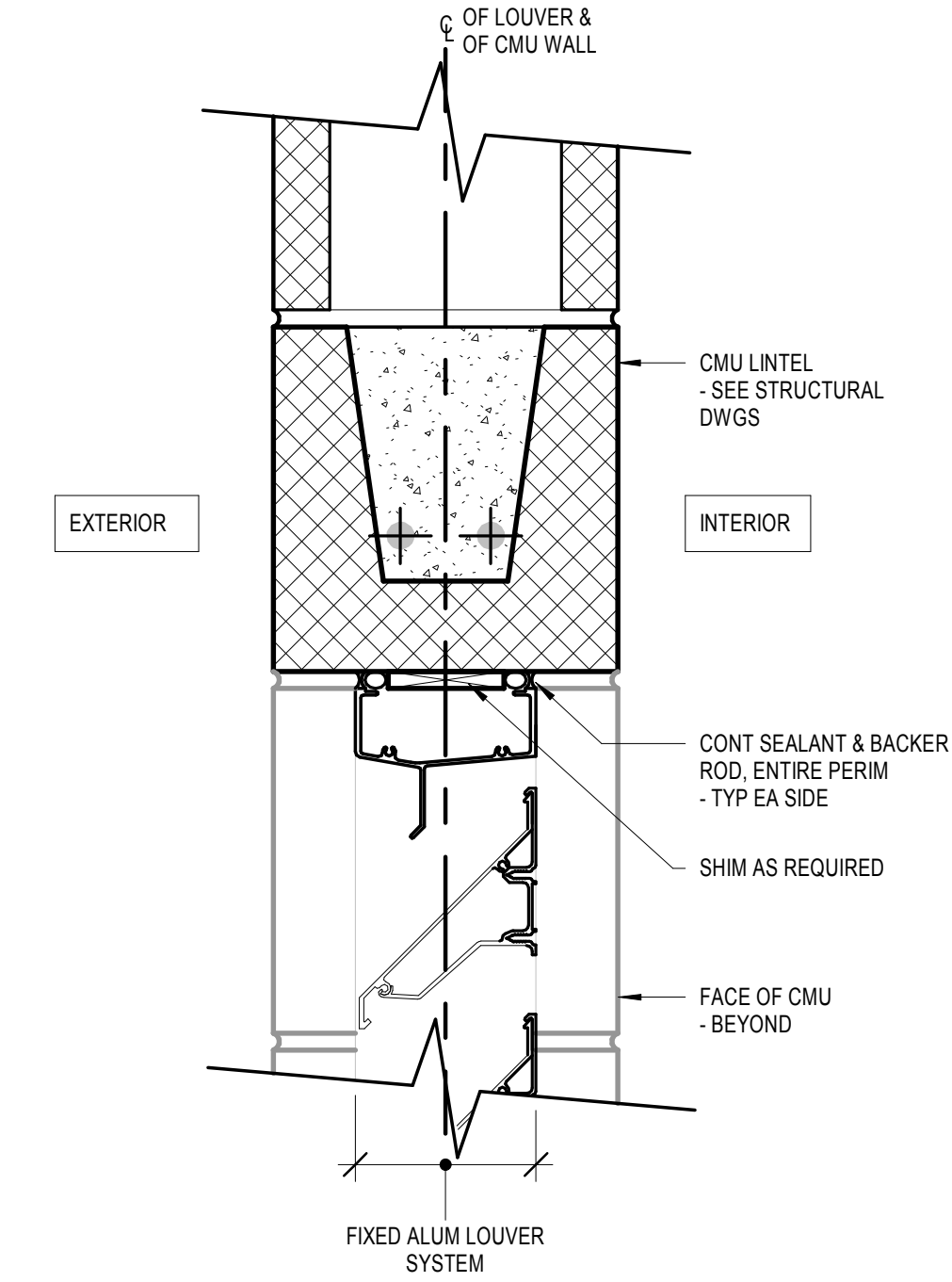
DOOR SCHEDULE

Sheet Number:

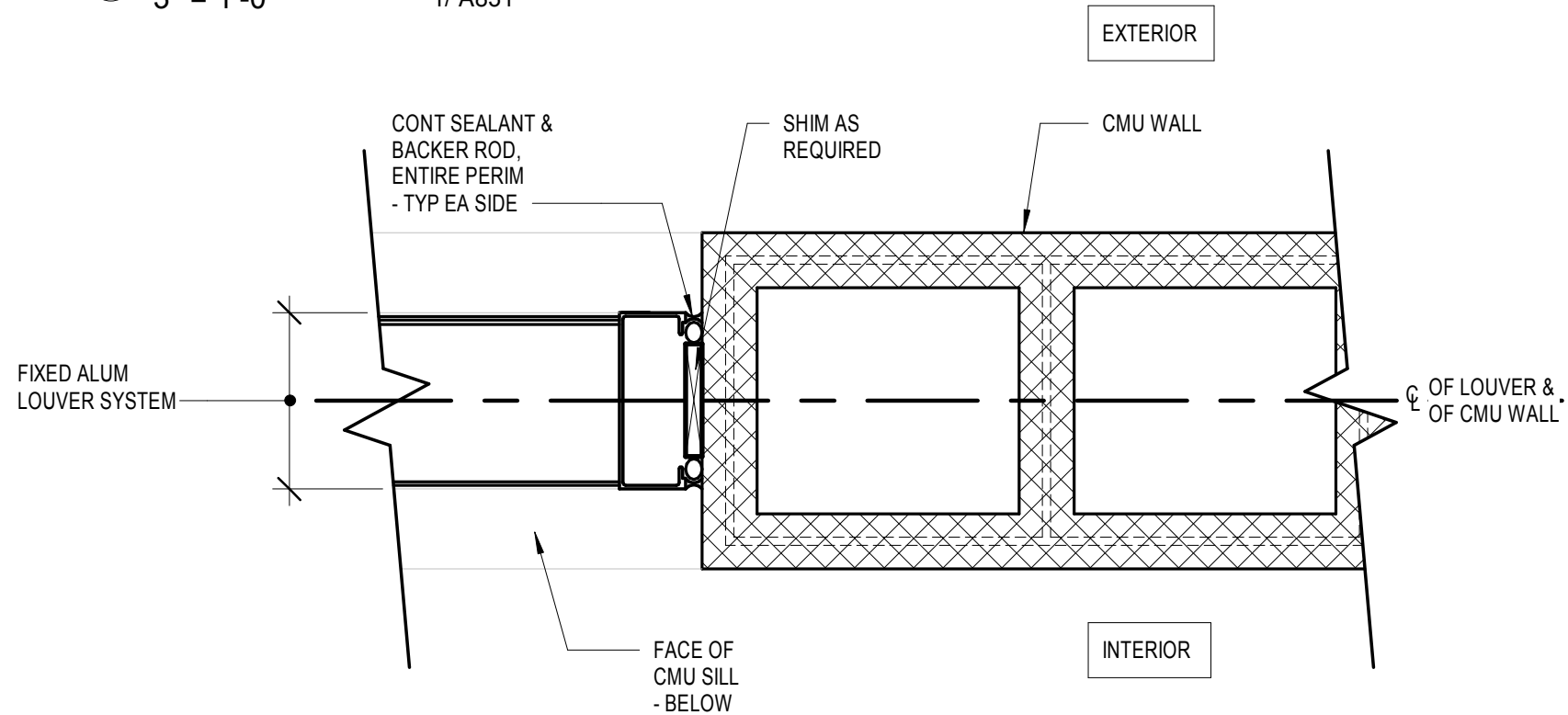
A801



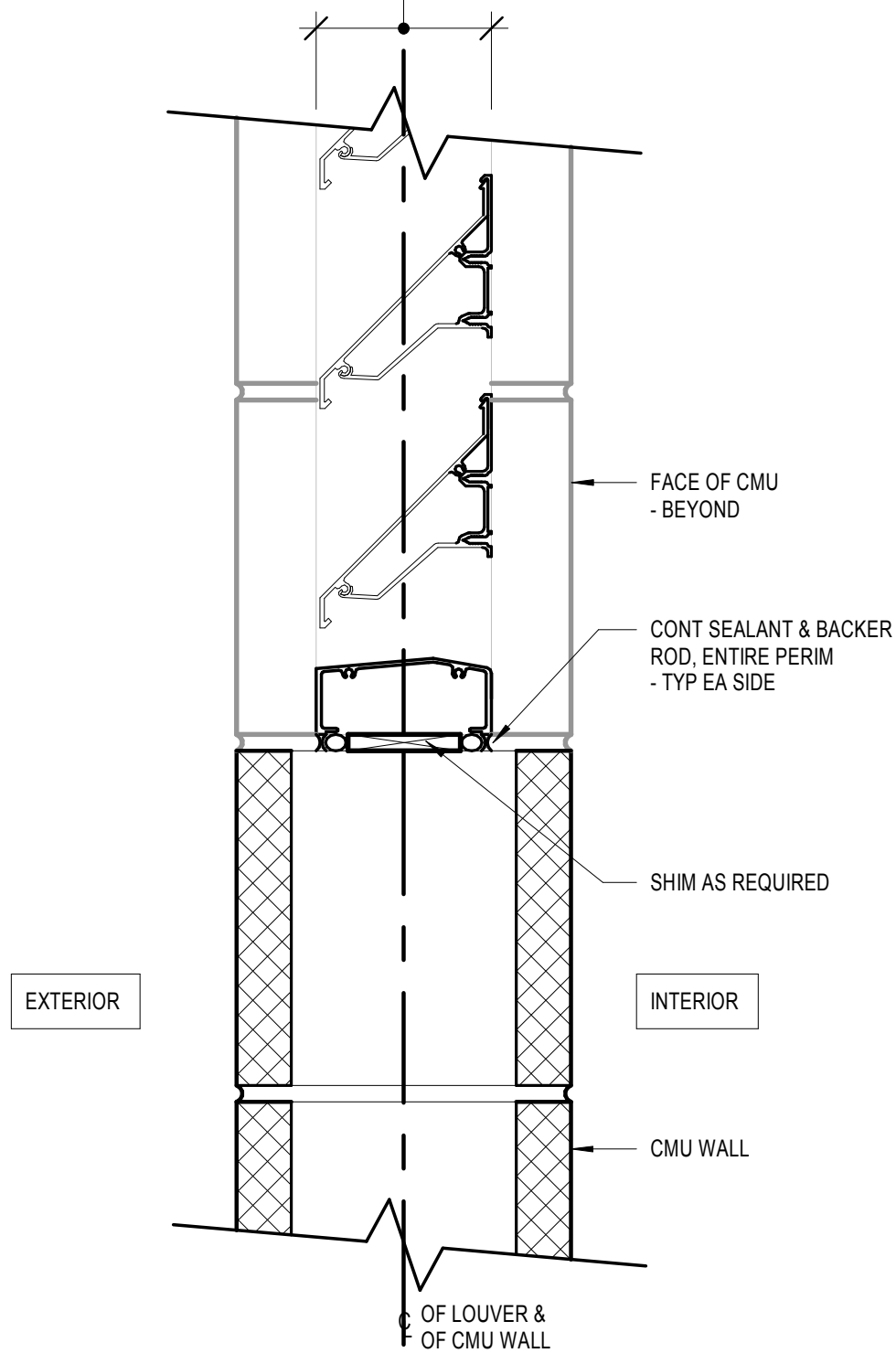
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4 LOUVER HEAD DETAIL  
3" = 1'-0" 1/ A831



3 LOUVER JAMB DETAIL  
3" = 1'-0" 1/ A831



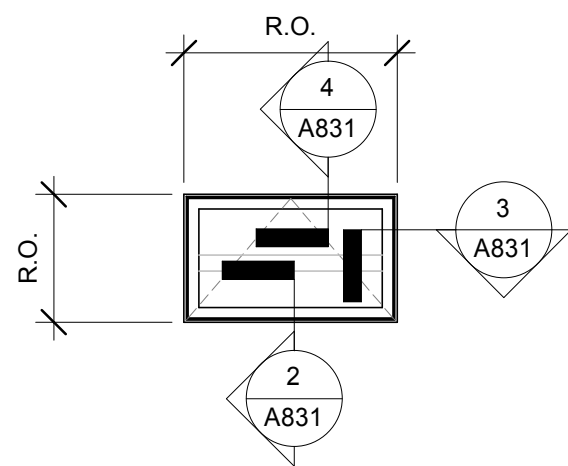
2 LOUVER SILL DETAIL  
3" = 1'-0" 1/ A831

FENESTRATION GENERAL NOTES:

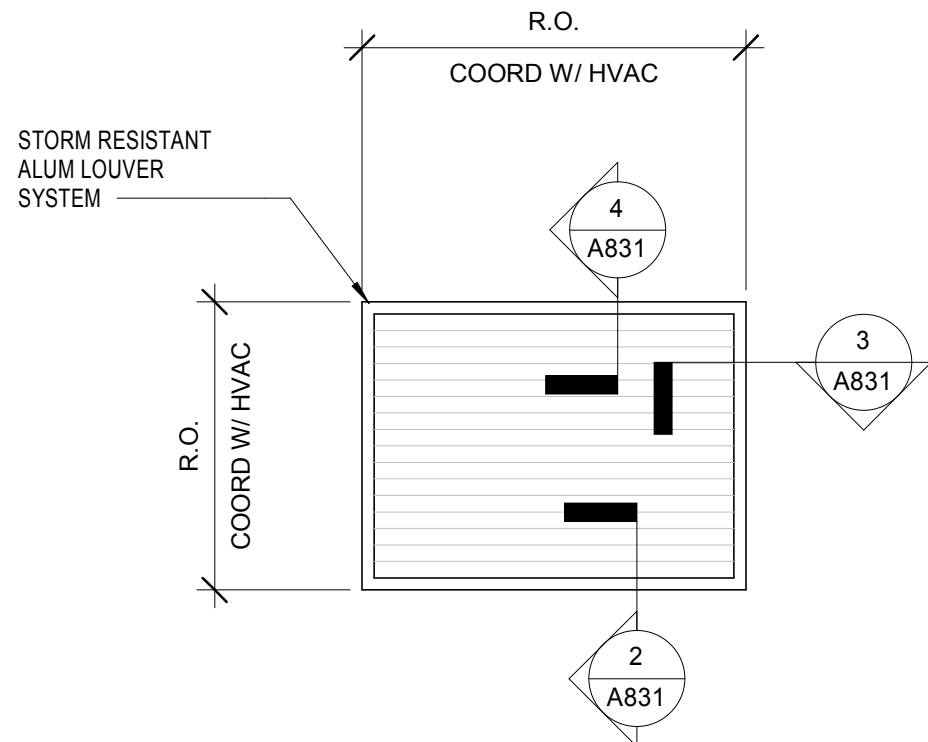
1. ALL OVERALL DIMENSIONS ARE SHOWN TO ROUGH-OPENING / MASONRY OPENING UNLESS NOTED OTHERWISE. TYP.
2. JOINT SEALANTS REQUIRED PER SPECIFICATION SECTION (07 92 00); PROVIDE BACK ROD AND SEALANT AT PERIMETER OF ALL WALL OPENINGS INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, LOUVERS AND TRANSLUCENT PANELS, AT ALL INTERIOR AND EXTERIOR JOINTS.
3. TYPICAL JOINT WIDTH: 3/8", MAXIMUM JOINT WIDTH: 1/2"
4. ALL AIR VAPOR BARRIERS (AVB) AT OPENINGS SHALL RETURN TO THE INSIDE FACE OF THE ROUGH OPENING (TYP) ON SILL, HEAD, AND JAMB CONDITIONS.

GLAZING SCHEDULE

#	TYPE	DESCRIPTION	USE IN THESE LOCATIONS
1	1	1/4" CLEAR TEMPERED	ALL INTERIOR NON-FIRE RATED DOORS AND INTERIOR WINDOWS
2	2	1/4" CLEAR LAMINATED GLASS	AS INDICATED
3	3	5/16" - 3/8" CERAMIC FIRE RATED GLASS	ALL INTERIOR FIRE RATED DOORS & WINDOWS
4	4	1" CLEAR INSULATING TEMPERED GLASS	ALL EXTERIOR DOORS, CURTAIN WALL, STOREFRONT, & WINDOWS
5	5	1/4" TRANSLUCENT LAMINATED GLASS	AS INDICATED



5 WINDOW ELEVATION  
1/2" = 1'-0"



1 LOUVER ELEVATION  
3/8" = 1'-0"

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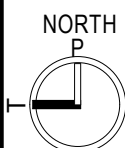


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Reviewed By: BPM  
Approved By: JB  
W&S Project No.: ENG21-1089  
W&S File No.: TBD

Drawing Title:

WINDOW TYPES

Sheet Number:

A831



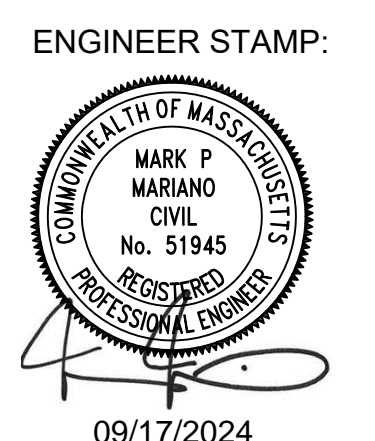
**67 SOUTH HIGHLAND AVE, TRURO, MA - MAP 37 / LOT 15**  
**10 OLD DEWLINE ROAD, TRURO MA - 37 / LOT 19**



DATE: 09/17/2024 - CONSTRUCTION DOCUMENTS



## PROJECT LOCUS

[illegible]





**SITE PARAMETERS:**

**ZONING:**  
67 SO HIGHLAND ROAD  
MAP: 37 LOT: 15  
AREA: 23.27 ACRES  
ZONING: "S" SEA SHORE  
10 OLD DEWLINE ROAD  
MAP: 37 LOT: 19  
AREA: 6.45 ACRES  
ZONING: "S" SEA SHORE

**DEED REFERENCE:**  
BOOK: 26095 PAGE: 003

**FLOOD ZONE LOCATION:**  
THIS SITE DOES NOT LIE WITHIN A FLOOD ZONE AS INDICATED ON THE FLOOD INSURANCE RATE MAP PUBLISHED BY H.U.D. LOCATED ON PANEL #137J, AND 141J, MAP # 25001C0137J, AND 25001C0141J, HAVING AN EFFECTIVE DATE OF 07/16/2014.

**SITE COVERAGE:**  
TOTAL SITE ACREAGE: 29.72 ACRES = 1,294,603 SF  
IMPERVIOUS COVERAGE: 24,500 SF  
BUILDING COVERAGE: 11,700 SF  
PROPOSED BUILDING COVERAGE (STRUCTURE AND SIDEWALKS): 1,928 SF  
TOTAL COVERAGE: 38,128 SF  
PERCENTAGE OF SITE WITH IMPERVIOUS COVER: 2.95%

**PARKING:**  
NOT APPLICABLE. BUILDING IS ONLY SERVICING PATRONS CAMPING AT THE CAMP GROUND THE CAMP SITE WILL HOLD THEIR VEHICLES

**BUILDING SETBACKS:**  
FRONT SET BACK: 25 FT ..... PROVIDED: 367' +/-  
SIDE SET BACK: 25 FT ..... PROVIDE: 256' +/-  
REAR SET BACK: 30 FT ..... PROVIDED: 402' +/-

PROPOSED  
WORK AREA

0' 100' 200' 300'  
SCALE: 1" = 100'



75 OAK HILL AVE, 2ND FLOOR  
SEEKONK, MA 02771  
368 FAIRVIEW AVE  
REHOBOTH  
TEL: 508-252-4363

**SITE PLAN REVIEW**

LOCATION OF PROJECT:  
67 SOUTH HIGHLAND RD  
10 OLD DEWLINE ROAD  
TRURO, MA 02666

APPLICANT  
A/C MOBILE HOME PARK INC  
905 16TH PLACE  
VERO BEACH, FL 32960

OWNER  
A/C MOBILE HOME PARK INC  
905 16TH PLACE  
VERO BEACH, FL 32960

**LEGEND**

- ADJUSTED WATER TABLE
- OBSERVED WATER TABLE
- TEST PIT
- EXISTING GRADE
- PROPOSED GRADE
- GAS LINE
- WATER LINE
- FENCE LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELECOM
- OVERHEAD ELECTRICAL
- UTILITY POLE
- HYDRANT
- BURIED VALVE
- EROSION CONTROLS
- DRAINAGE LINES
- WETLANDS BUFFER ZONES
- WETLANDS FLAGS



09/17/2024

DATE: 09/17/24



MARK	DATE	DESCRIPTION
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EXISTING CONDITIONS  
C1

SHEET 1 OF 4





75 OAK HILL AVE, 2ND FLOOR  
SEEKONK, MA 02771

368 FAIRVIEW AVE  
REHOBOTH

TEL: 508-252-4363

SITE PLAN REVIEW

LOCATION OF PROJECT:  
67 SOUTH HIGHLAND RD  
10 OLD DEWLINE ROAD  
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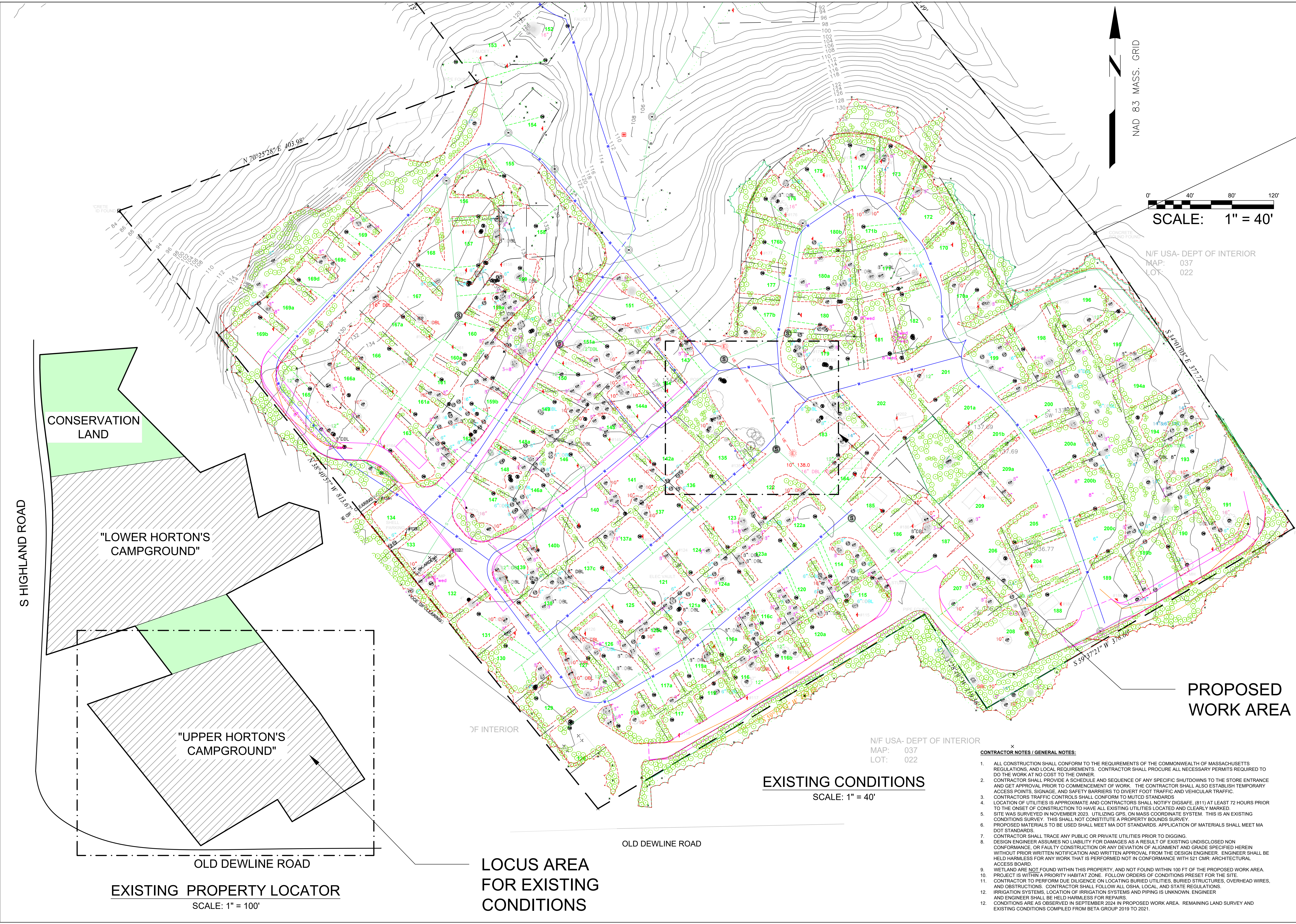
PROJECT NO: 2024-106  
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SHEET TITLE

EXISTING CONDITIONS

C2

SHEET 2 OF 4



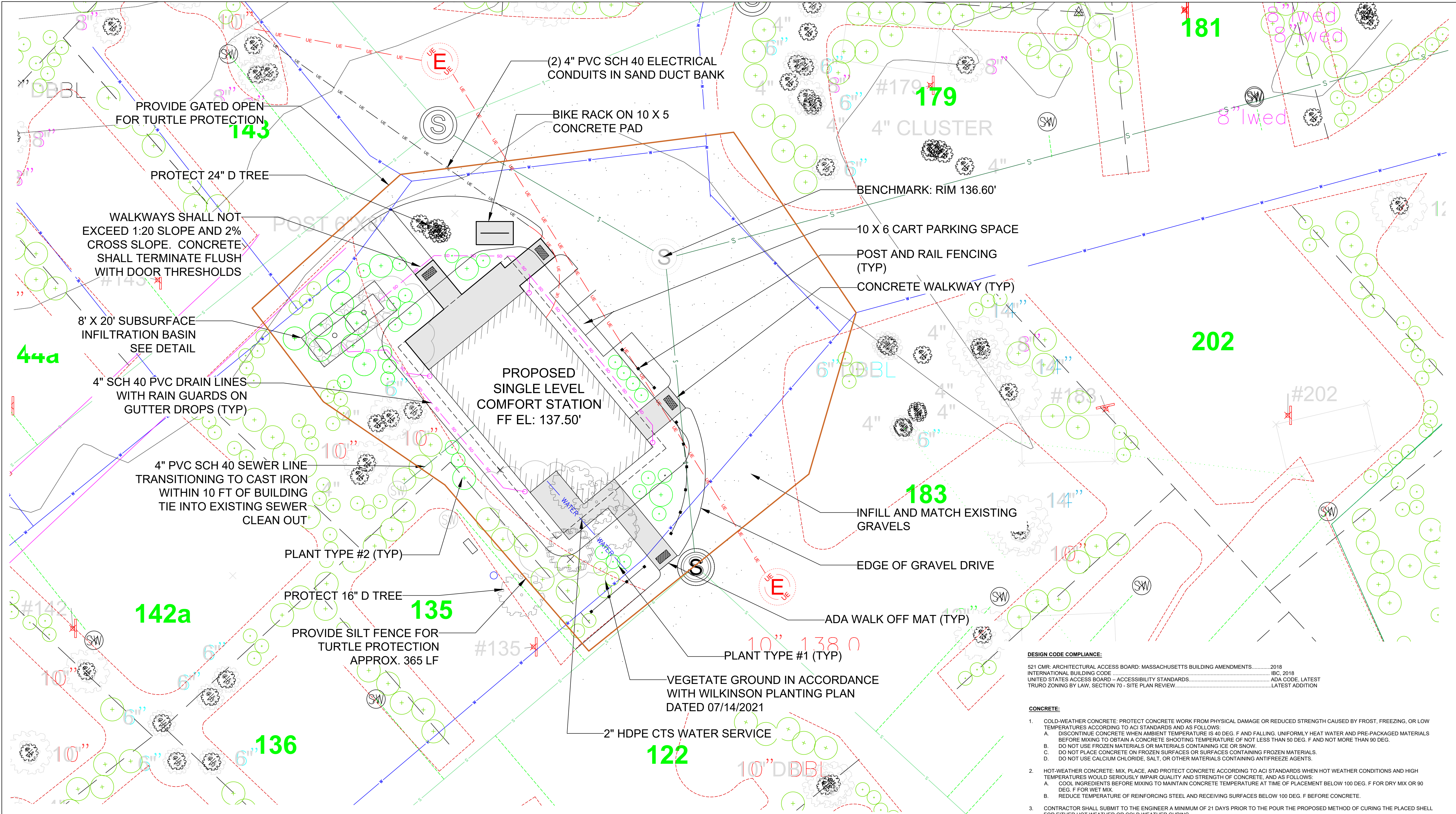
EXISTING CONDITIONS

SCALE: 1" = 40'

CONTRACTOR NOTES / GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE COMMONWEALTH OF MASSACHUSETTS REGULATIONS, AND LOCAL REQUIREMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS REQUIRED TO DO THE WORK AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE A SCHEDULE AND SEQUENCE OF ANY SPECIFIC SHUTDOWNS TO THE STORE ENTRANCE AND GET APPROVAL PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ALSO ESTABLISH TEMPORARY ACCESS POINTS, SIGNAGE, AND SAFETY BARRIERS TO DIVERT FOOT TRAFFIC AND VEHICULAR TRAFFIC.
- CONTRACTORS TRAFFIC CONTROLS SHALL CONFORM TO MUTCD STANDARDS.
- LOCATION OF UTILITIES IS APPROXIMATE AND CONTRACTORS SHALL NOTIFY DIGSAFE, (811) AT LEAST 72 HOURS PRIOR TO THE ONSET OF CONSTRUCTION TO HAVE ALL EXISTING UTILITIES LOCATED AND CLEARLY MARKED.
- SITE WAS SURVEYED IN NOVEMBER 2023, UTILIZING GPS, ON MASS COORDINATE SYSTEM. THIS IS AN EXISTING CONDITIONS SURVEY. THIS SHALL NOT CONSTITUTE A PROPERTY BOUNDS SURVEY.
- PROPOSED MATERIALS TO BE USED SHALL MEET MA DOT STANDARDS. APPLICATION OF MATERIALS SHALL MEET MA DOT STANDARDS.
- CONTRACTOR SHALL TRACE ANY PUBLIC OR PRIVATE UTILITIES PRIOR TO DIGGING.
- DESIGN ENGINEER ASSUMES NO LIABILITY FOR DAMAGES AS A RESULT OF EXISTING UNDISCLOSED NON CONFORMANCE, OR FAULTY CONSTRUCTION OR ANY DEVIATION OF ALIGNMENT AND GRADE SPECIFIED HEREIN WITHOUT PRIOR WRITTEN NOTIFICATION AND WRITTEN APPROVAL FROM THE DESIGN ENGINEER. ENGINEER SHALL BE HELD HARMLESS FOR ANY WORK THAT IS PERFORMED NOT IN CONFORMANCE WITH 521 CMR, ARCHITECTURAL ACCESS BOARD.
- WETLAND ARE NOT FOUND WITHIN THIS PROPERTY, AND NOT FOUND WITHIN 100 FT OF THE PROPOSED WORK AREA. PROJECT IS WITHIN A PRIORITY HABITAT ZONE. FOLLOW ORDERS OF CONDITIONS PRESET FOR THE SITE.
- CONTRACTOR TO PERFORM DUE DILIGENCE ON LOCATING BURIED UTILITIES, BURIED STRUCTURES, OVERHEAD WIRES, AND OBSTRUCTIONS. CONTRACTOR SHALL FOLLOW ALL OSHA, LOCAL, AND STATE REGULATIONS.
- IRRIGATION SYSTEMS, LOCATION OF IRRIGATION SYSTEMS AND PIPING IS UNKNOWN. ENGINEER
- AND ENGINEER SHALL BE HELD HARMLESS FOR REPAIRS
- CONDITIONS ARE AS OBSERVED IN SEPTEMBER 2024 IN PROPOSED WORK AREA. REMAINING LAND SURVEY AND EXISTING CONDITIONS COMPILED FROM BETA GROUP 2019 TO 2021.





PLANT SPECIFICATIONS

TYPE #1 PLANTS:

Black Huckleberry      Gaylussacia baccata      #1  
Lowbush Blueberry      Vaccinium angustifolia      #1

TYPE #2 PLANTS:

Pitch Pine      Pinus rigida      #1 - #3

NATIVE SEED MIX FOR ALL RESTORATION ZONES:

common name	scientific name
Broom Sedge	Andropogon virginicus
Creeping Red Fescue	Festuca rubra
Fox Sedge	Carex vulpinoidea
Little Bluestem	Schizachyrium scoparium
Poverty Grass	Danthonia spicata
Purple Lovegrass	Eragrostis spectabilis
Upland Bentgrass	Agrostis perennans

PROPOSED SITE PLAN

SCALE: 1" = 10'



SCALE: 1" = 10'

NAD 83 MASS. GRID



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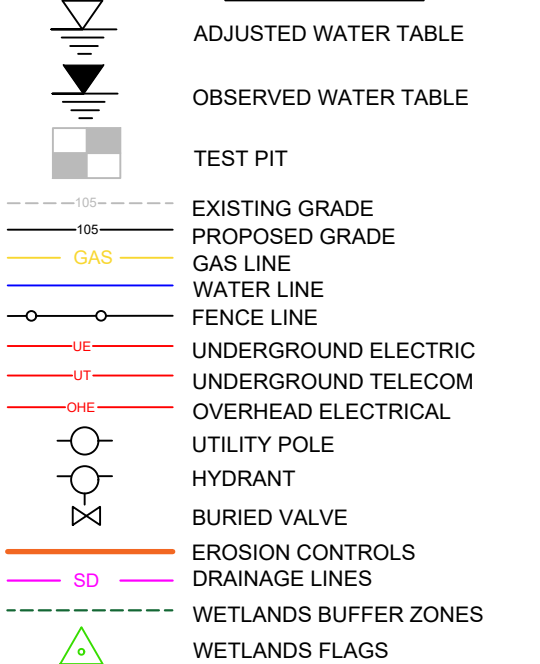
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LEGEND



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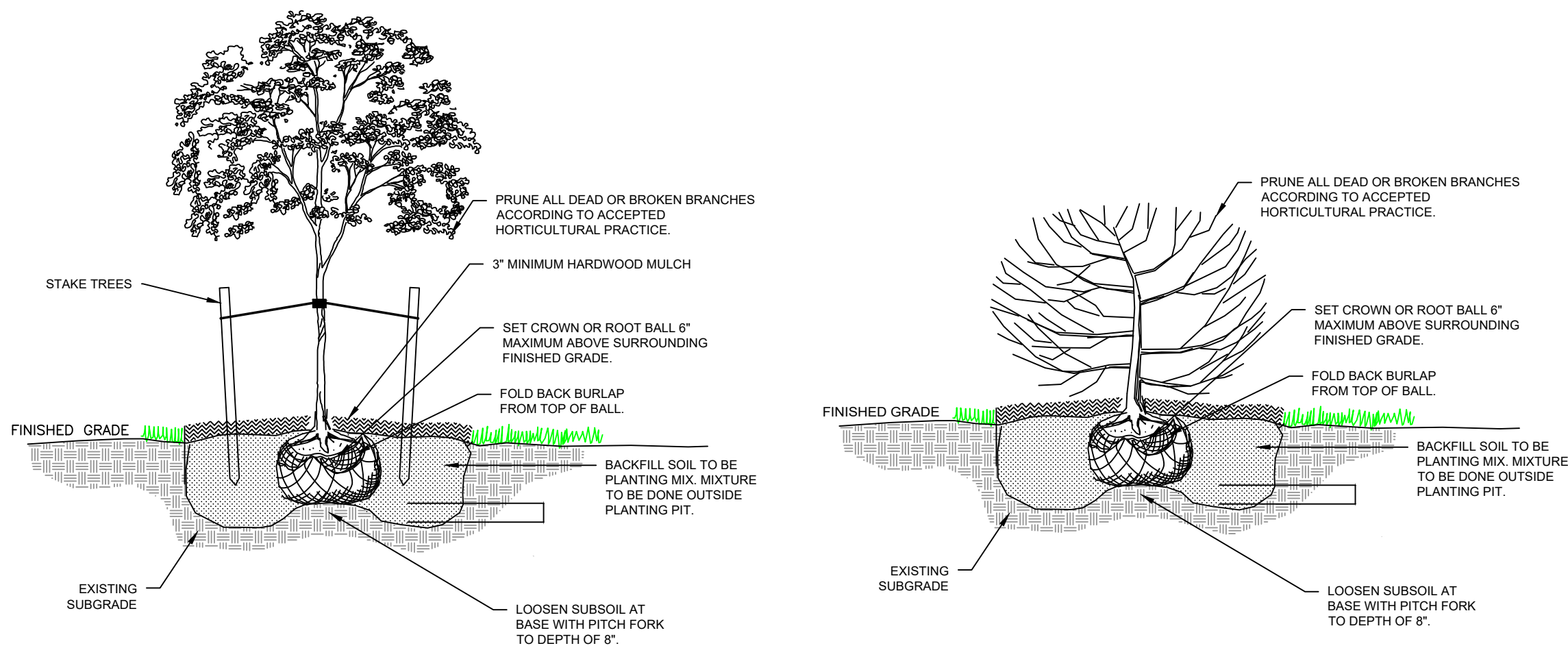
SHEET TITLE

PROPOSED SITE PLAN

C3

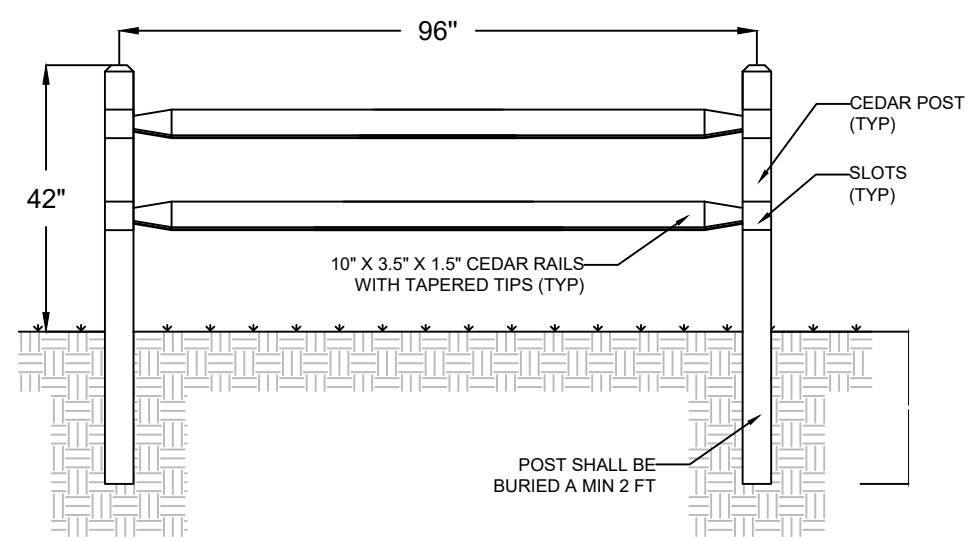
SHEET 3 OF 4





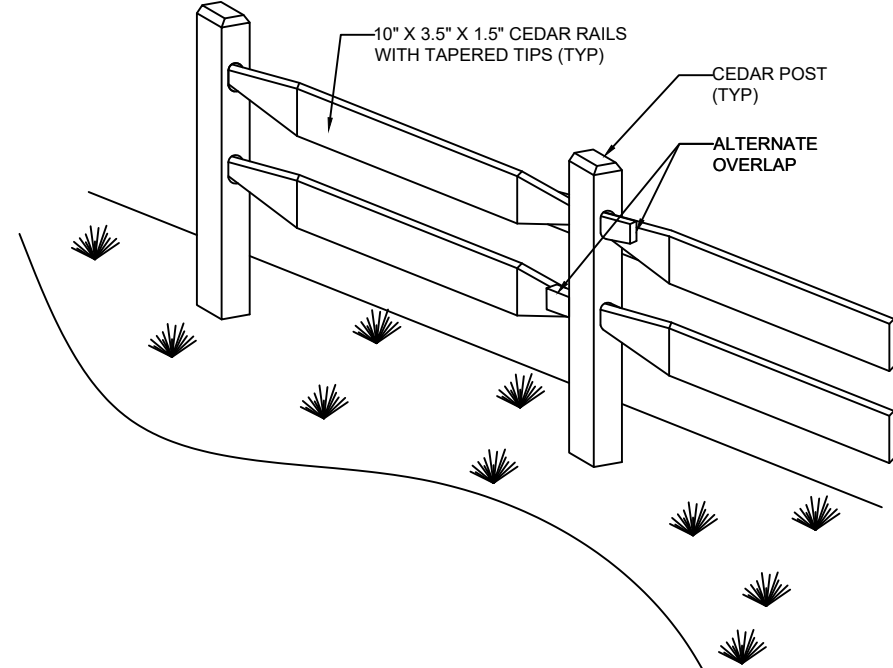
### NEW PLANTINGS INSTALLATION

SCALE: NTS



### SPLIT RAIL FENCE

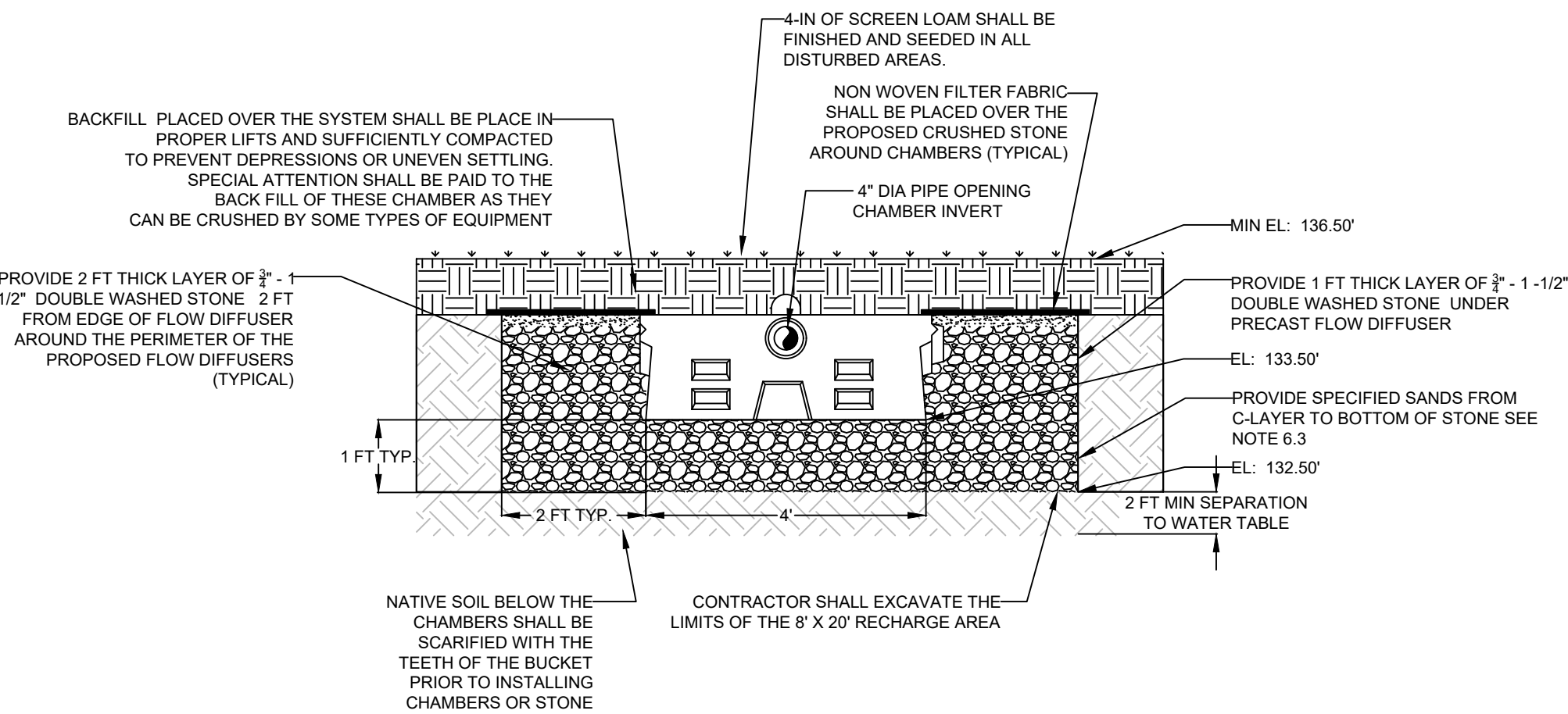
SCALE: NTS



### TURTLE PROTECTION FENCE

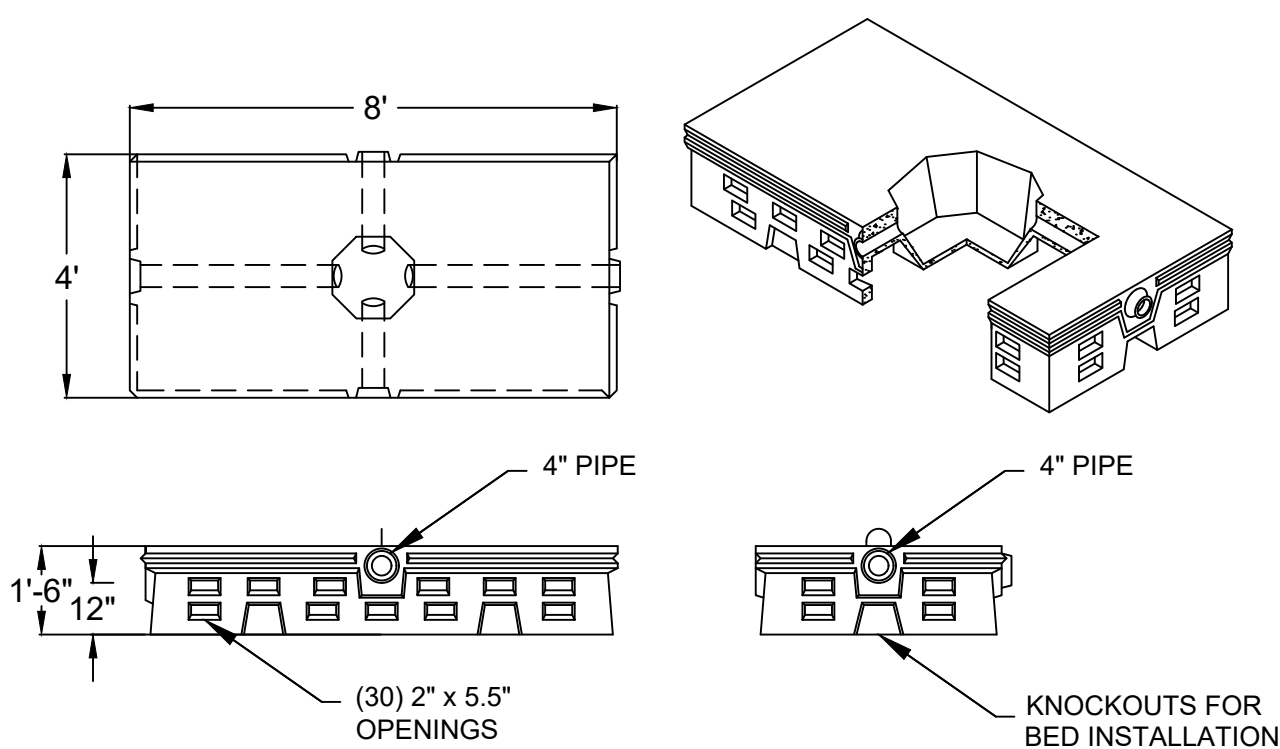
SCALE: NTS

- NOTES:
- EXCAVATE A 6" DEEP BY 6" WIDE TRENCH ALONG THE CONTOUR OF WHERE THE SILT FENCE SHALL BE INSTALLED.
  - SILT FENCE AND BARRIER SHALL BE INSPECTED BY REHOBOTH CONSERVATION AND SELECTED TURTLE CONSULTANT.
  - FENCE SHALL PROVIDE ONLY (1) OPENING AT THE MAIN DRIVE TO ALLOW ACCESS. THE GATE SHALL BE CLOSED WHILE CONSTRUCTION OPERATION IS OCCURRING ON SITE AND WHEN THE SITE IS DORMANT.
  - CONTRACTOR SHALL INSTALL AND MAINTAIN IN ACCORDANCE TO ORDER OF CONDITIONS AND MASSACHUSETTS GUIDE FOR EROSION CONTROL.
  - FENCE SHALL BE INSPECTED DAILY AND AFTER EACH RAIN EVENT. REPAIR IF FENCING BECOMES COMPROMISED.
  - BACKFILL THE DOWN SLOPE SIDE OF THE WATTLE TRENCH.



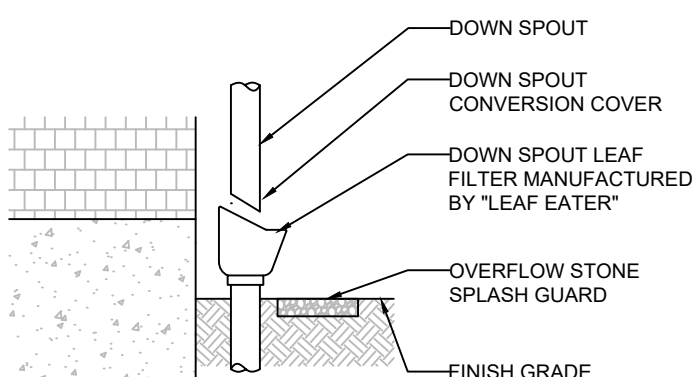
### STORM INFILTRATORS CROSS SECTION

SCALE: NTS



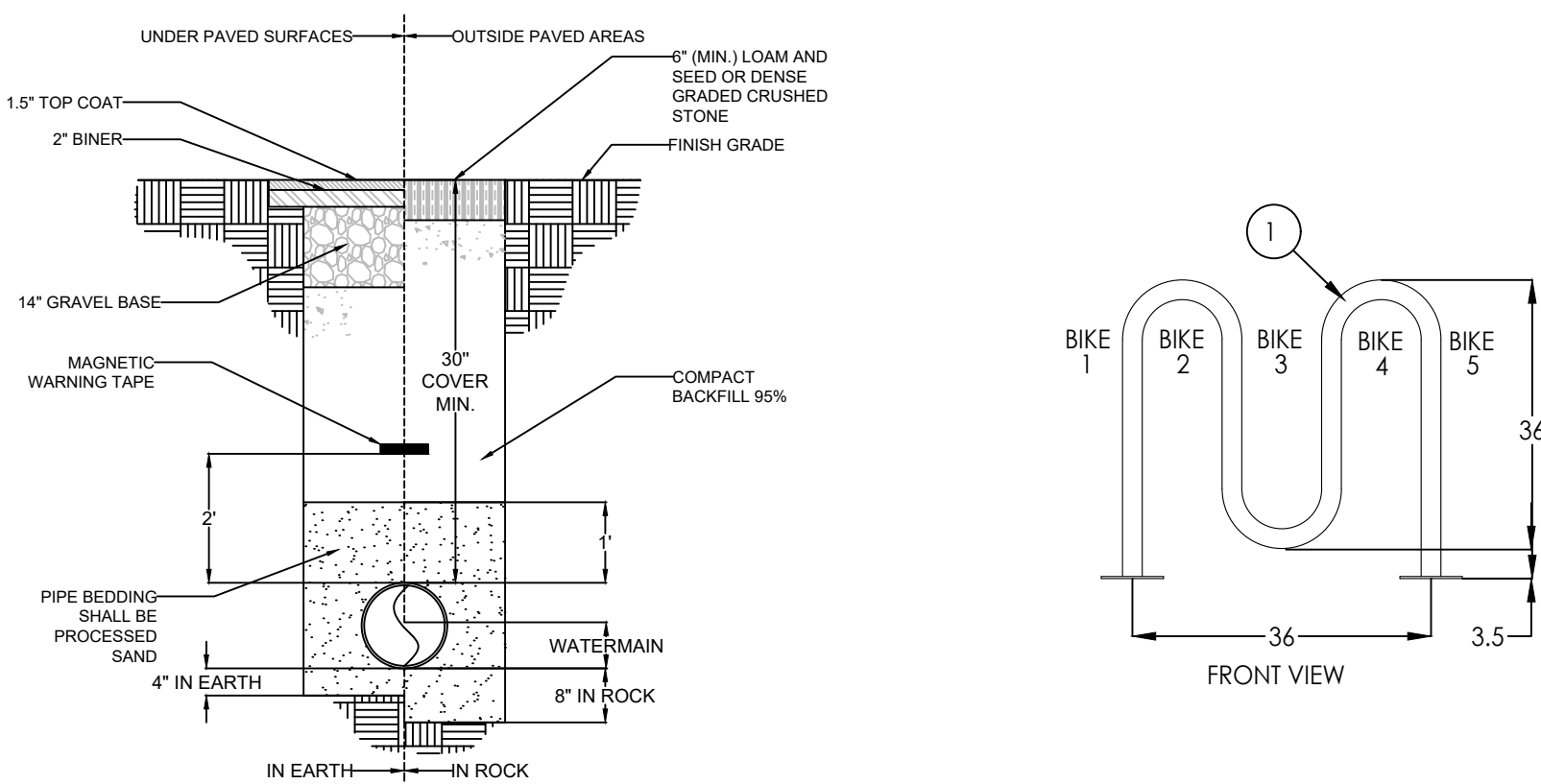
### PRECAST INFILTRATOR CHAMBERS

SCALE: NTS



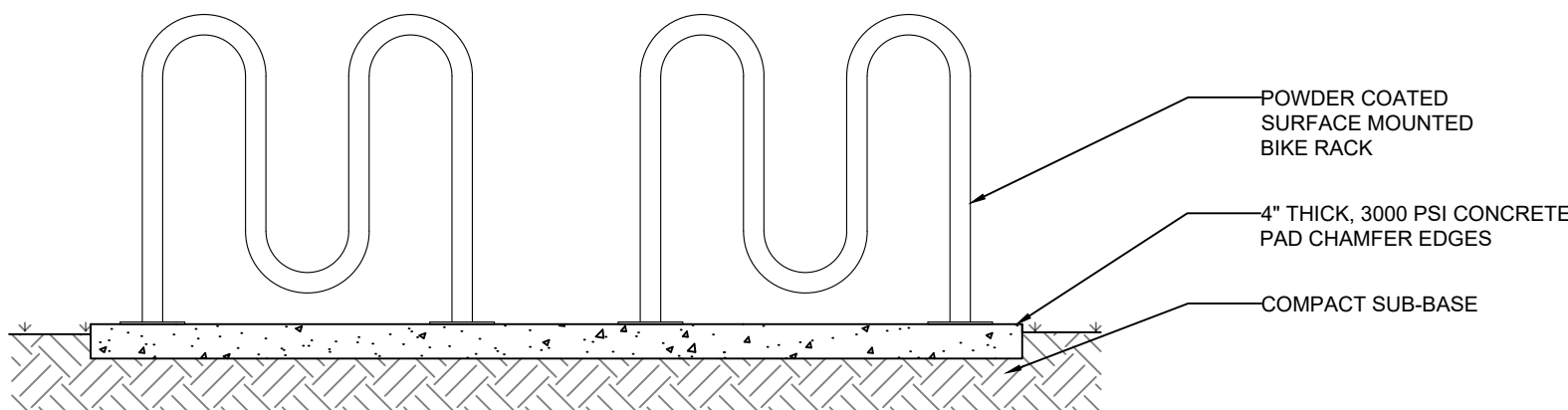
### DOWN SPOUT LEAF FILTER

SCALE: NTS



### WATER SERVICE

SCALE: NTS



### BIKE RACK

SCALE: NTS



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### DETAILS

C4

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